

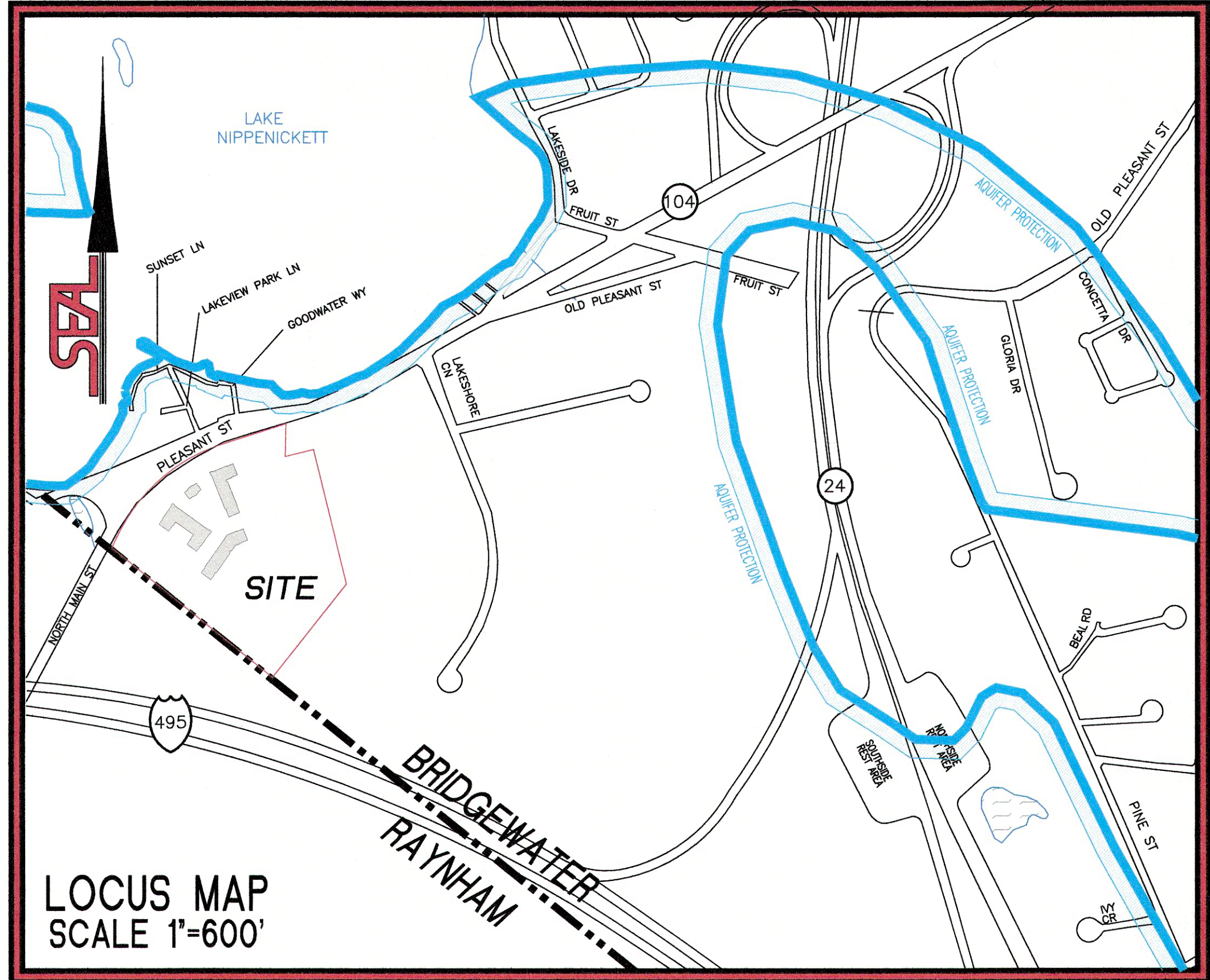
PARCEL DATA:
ZONING REFERENCE:
PLANNED DEVELOPMENT DISTRICT - RESIDENTIAL OPTION
RESIDENTIAL A/B; AQUIFER PROTECTION OVERLAY
430 EXPEDITED PERMITTING AND PRIORITY DEVELOPMENT SITES.
MIN LOT SIZE: 43,560 SF
MIN LOT FRONTAGE: 150 FT
FRONT YARD: 40 FT
SIDE YARD: 20 FT
REAR YARD: 30 FT
MAX. BUILDING HEIGHT: 3 STORY OR 35 FT
MAX. % BUILDING COVERAGE: 20%
MAX. % OF LOT COVERAGE: 75%
MIN. % OPEN SPACE: 25%

BUILDING DATA:
LEASE OFFICE/CLUB HOUSE BUILDING A - 1 STORY; 5,104 GSF
RESIDENTIAL BUILDING 1: 5-3BR; 54-2BR; 29-1BR
(88) TOTAL UNITS; 22,540 SF FOOTPRINT; 112,700 GSF
RESIDENTIAL BUILDING 2: 5-3BR; 66-2BR; 33-1BR
104 TOTAL UNITS; 26,769 SF FOOTPRINT; 133,845 GSF
RESIDENTIAL BUILDING 3: 4-3BR; 47-2BR; 40-1BR
(97) TOTAL UNITS; 23,011 SF FOOTPRINT; 115,055 GSF
TOTAL 289 UNITS; 72,320 SF FOOTPRINT; 366,704 GSF
TOTAL AREA: 1,060,107 SF or 24.34 Acres
BUILDING COVERAGE: 1.6 ACRES (6.6%)
PARKING COVERAGE: 4.9 ACRES (20.1%)
SIDEWALK COVERAGE: 0.6 ACRES (2.5%)
OPEN AREAS: 17.24 ACRES (70.8%)
DRAINAGE: 1.0 ACRES (4.2%)
UPLANDS: 7.1 ACRES (29.1%)
WETLANDS: 9.13 ACRES (37.5%)
PARKING SPACES REQUIRED: 2 PER UNIT
PARKING SPACES PROVIDED: 1.8 PER UNIT OR
289 UNITS = 523 RESIDENTIAL SPACES PROVIDED
= 4 OFFICE SPACES PROVIDED
527 TOTAL SPACES 9'x18' TYPICAL SIZE WITH 16 SPACES HANDICAP ACCESSIBLE
WATER REQUIREMENTS: 63,888 GPD MAX
SEWER REQUIREMENTS: 53,240 GPD MAX

ZONING BYLAWS:
SECTION 4 - APPLICATION OF REGULATIONS, MODIFICATIONS AND EXCEPTIONS
SECTION 4.10 - WAIVE THE REQUIREMENT OF CONFORMANCE TO THE REGULATIONS OF THE BYLAW AS TO BUILDINGS ERRECTED, USE OF PROPERTY, AND LAND DIVISION, IN ACCORDANCE WITH THE MORE SPECIFIC WAIVERS, BELOW.
SECTION 4.40 - WAIVE THE REQUIREMENT THAT THERE SHALL BE NOT MORE THAN ONE PRINCIPAL RESIDENTIAL BUILDING ON ANY LOT - PROPOSAL IS FOR THREE (3) RESIDENTIAL BUILDINGS TOTALING 289 UNITS.
SECTION 6 - USE REGULATIONS
SECTION 6.10 - WAIVE THE REQUIREMENT OF CONFORMANCE TO THE TABLE OF USE REGULATIONS (SECTION 6.30) TO ALLOW THE PROPOSED MULTI-FAMILY RESIDENTIAL USE WITH RELATED AMENITIES
SECTION 6.30(A)(4) - WAIVE THE REQUIREMENT THAT MULTIFAMILY DWELLINGS ARE NOT PERMITTED IN THE RESIDENTIAL A/B ZONING DISTRICT
SECTION 8 - LAND SPACE REQUIREMENTS
SECTION 8.10 - BUILDING DIMENSIONS SHALL BE AS PROVIDED IN SECTION 8.
SECTION 8.40 - LAND SPACE REQUIREMENTS TABLE
MAXIMUM BUILDING HEIGHT - 3 STORIES OR 35 FEET - WAIVER REQUESTED TO ALLOW 5 STORIES AND 65 FEET.
SECTION 9.60 - PLANNED DEVELOPMENT DISTRICT
AS STATED ABOVE, REQUEST IS HEREBY MADE TO MODIFY, AS NECESSARY TO ALLOW THE CONSTRUCTION AND OPERATION OF THE PROPOSED 408 AFFORDABLE HOUSING DEVELOPMENT, THE PLANNING BOARD SPECIAL PERMIT FOR A PLANNED UNIT DEVELOPMENT FOR "LAKEVIEW CORPORATE CENTER" DATED APRIL 11, 1988 AND RECORDED WITH THE PLYMOUTH COUNTY REGISTRY OF DEEDS IN BOOK 8521, PAGE 57, AND THE PLANNING BOARD SPECIAL PERMIT SITE PLAN APPROVAL FOR THE EXISTING OFFICE BUILDING ON LAKESHORE CENTER DATED APRIL 20, 1999 RECORDED WITH SAID REGISTRY IN BOOK 17450, PAGE 253. THE LAND SUBJECT TO THE SPECIAL PERMITS THAT IS NOT PART OF THIS 408 HOUSING PROPOSAL WILL REMAIN IN COMPLIANCE WITH ALL ZONING REQUIREMENTS OF THE PLANNED DEVELOPMENT DISTRICT.
SECTION 9.89 - DESIGN REVIEW
WAIVE ANY REQUIREMENT TO APPLY TO THE DESIGN REVIEW COMMITTEE UNDER THIS BY-LAW PROVISION. INSTEAD, APPLICANT REQUESTS THAT ANY REQUIRED APPROVAL BE GRANTED BY THE ZONING BOARD OF APPEALS AS PART OF THE COMPREHENSIVE PERMIT.
SECTION 10 - OFF STREET PARKING AND LOADING REQUIREMENTS
SECTION 10.60 - WAIVE OFF STREET PARKING REQUIREMENT FOR 2 SPACES PER DWELLING UNIT. PROPOSAL IS FOR 1.8 PARKING SPACES PER UNIT.
RULES AND REGULATIONS GOVERNING THE SUBDIVISION OR LAND IN BRIDGEWATER, MA (LAST UPDATED 2007)
SECTION III - PROCEDURE FOR THE SUBMISSION AND APPROVAL OF PLANS
RULE: WAIVE ANY REQUIREMENTS TO FILE PLANS WITH AND OBTAIN APPROVAL FROM THE PLANNING BOARD.
REQUEST: WAIVE
SECTION III.B.2.A
RULE: FILE PROPERLY EXECUTED APPLICATION FORM B PROVIDED BY THE PLANNING BOARD.
REQUEST: WAIVE
SECTION III.B.3 CONTENTS
RULE: THE DEFINITIVE PLANS SHALL BE CLEARLY AND LEGIBLY DRAWN. THE PLANS SHALL BE DRAWN IN INDIA INK (OR AN INK WITH EQUIVALENT COHESIVENESS) ON LINEN OR POLYESTER FILM, SINGLE MATTE WITH A THICKNESS OF .004 MILS, AND MUST HAVE AN OPACITY SO AS TO ALLOW CONSISTENT DIAZO AND MICROFILM REPRODUCTION.
REQUEST: WAIVE AS NECESSARY; THE REQUIRED NUMBER OF FULL-SIZED PLAN SETS IS BEING SUBMITTED ON STANDARD PRINTER PAPER AT THIS TIME, AND SHALL BE SUITABLE FOR MICROFILM REPRODUCTION. FURTHER REPROGRAPHIC MATERIALS SHALL BE SUBMITTED IF SO REQUESTED BY THE BOARD.
SECTION III.B.3.D
RULE: A CERTIFICATION CLAUSE SIGNED BY THE ENGINEER OF RECORD STATING THAT THE DESIGN AND CONTENT OF THE DEFINITIVE SUBDIVISION PLAN CONFORMS WITH ALL APPLICABLE RULES AND REGULATION ESTABLISHED HEREIN WITH EXCEPTIONS SPECIFICALLY NOTED ON THE PLAN.
REQUEST: WAIVE
SECTION III.B.4.A COVENANT:
RULE: FINAL APPROVAL WITH A COVENANT
REQUEST: WAIVE.

FLOOD STATEMENT
SAID DESCRIBED PROPERTY IS LOCATED WITHIN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN) & ZONE AE (BASE FLOOD ELEVATION DETERMINED 63.4 NGVD), FROM THE FEMA FLOOD INSURANCE RATE MAP, TOWN OF BRIDGEWATER, MASSACHUSETTS, PLYMOUTH COUNTY; COMMUNITY PANEL NO. 25023C0283J; EFFECTIVE DATE: JULY 17, 2012 AND LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT DATED AUGUST 20, 2013; CASE NO 13-011-1673A.

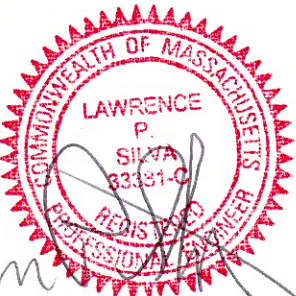
WAIVERS GRANTED:
RECORD, DECISION AND COMPREHENSIVE PERMIT
CLAREMONT BRIDGEWATER II, LLC - THE RESIDENCES AT LAKESHORE: DATE SIGNED APRIL 16, 2013:
ZONING BOARD OF APPEALS RULES AND REGULATIONS GOVERNING COMPREHENSIVE PERMITS
AS STATED IN THE NARRATIVE DESCRIPTION PART OF THIS APPLICATION, THE APPLICANT ASKS FOR WAIVERS FROM THE FOLLOWING:
SECTION 3.1.1 - SUBMISSION OF A REPRODUCIBLE ORIGINAL PLAN; APPLICANT RESPECTFULLY SUGGESTS THAT IT IS NOT NECESSARY TO SUBMIT THIS AT THIS TIME SINCE THERE ARE OFTEN PLAN REVISIONS DURING THE COURSE OF THE HEARINGS. A WAIVER IS REQUESTED.
SECTION 3.1.3 - SUBMITTING ALL REQUIRED FEES, INCLUDING THE CONSULTANT REVIEW FEE AS PER SECTION 4.2. A WAIVER IS REQUESTED FROM PAYING THE CONSULTANT REVIEW FEE SO THAT THE APPLICANT CAN DISCUSS THIS WITH THE BOARD.
SECTION 3.1.9 - FINANCIAL INFORMATION: NOT APPLICABLE AS IT IS IN CONFLICT WITH 760 CMR 56.05(6). TO THE EXTENT LEGALLY NECESSARY, A WAIVER IS REQUESTED.
SECTION 3.2.16 - STATEMENT FOR CONFORMANCE TO LAND COURT STANDARDS. WAIVER.
SECTION 3.2.19 - REQUIRING THAT THE DRAINAGE DESIGN AND CONSTRUCTION MUST ADHERE TO ALL REQUIREMENTS OF THE BRIDGEWATER LAND SUBDIVISION REGULATIONS. (SEE REQUEST FOR WAIVER FROM SECTION IV.B.2.D.)
SECTION 3.3.9 - OFF-ROAD PARKING REQUIREMENTS. (SEE REQUEST FOR WAIVER FROM ZONING BY-LAW SECTION 10.60)
SECTION 3.3.10 - GROUNDWATER MONITORING. WAIVER REQUESTED.



SHEET #	DESCRIPTION	LATEST DATE
1	COVER SHEET	3/14/2014
2	BUILDING LOCATION PLAN	3/14/2014
3	UTILITY LAYOUT PLAN	3/14/2014
4	PARKING & PAVEMENT LAYOUT	3/14/2014
5	EROSION CONTROL PLAN	3/14/2014
6	GRADING AND DRAINAGE	3/14/2014
7	GRADING AND DRAINAGE	3/14/2014
8	CONSTRUCTION DETAILS	3/14/2014
9	CONSTRUCTION DETAILS	3/14/2014
10	FIRE TRUCK AND TOWER PATH	3/14/2014
11	TEST PIT LOCATION PLAN	3/14/2014
12	DRAINAGE BASIN PROFILES 'B' & 'C'	3/14/2014
13	SEWER LAYOUT AND PROFILE PLAN	3/14/2014
14	BERM CONSTRUCTION DETAILS	3/14/2014
15	COMPENSATORY STORAGE	3/14/2014

COMPREHENSIVE PERMIT SITE PLAN "THE RESIDENCES AT LAKESHORE"

off PLEASANT STREET (ROUTE 104)
BRIDGEWATER, MASSACHUSETTS
MAP 95, LOT 1 & MAP 96, LOT 13

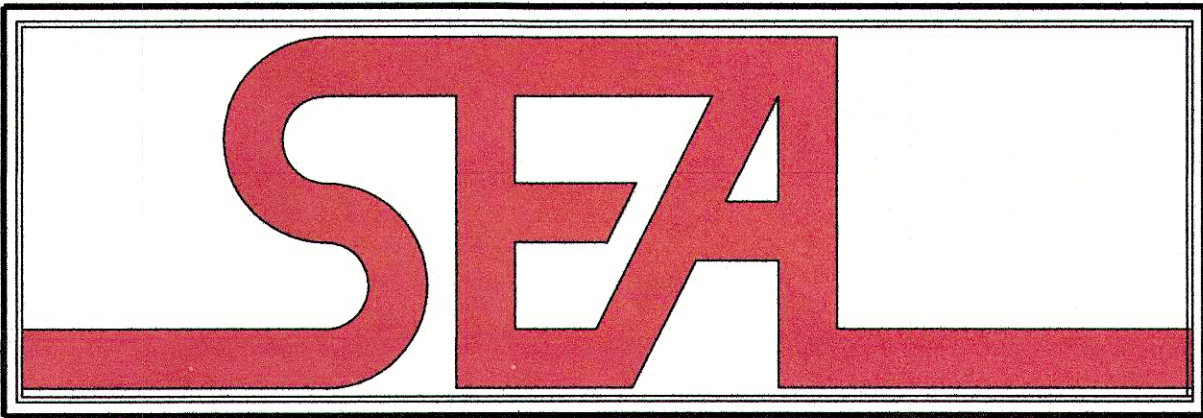

LAWRENCE P. SILVA, P.E. REG No. 33381-
DATE 3/17/2014

PLAN REFERENCES:

- LOT NUMBERS REFER TO THE TOWN OF BRIDGEWATER ASSESSOR'S MAP AND LOT NUMBERS.
- PROPERTY LINE INFORMATION OBTAINED FROM THE FOLLOWING:
PLAN BOOK 30, PAGE 1060
PLAN BOOK 26, PAGE 449
PLAN BOOK 26, PAGE 74
LAND COURT PLAN 1079A
PLAN BOOK 19, PAGE 667
MASS HIGHWAY LAYOUTS No. 3947, No. 6215, No. 6216, No. 6395
COUNTY LAYOUT DECREE No. 1241
- WETLAND LINE DELINEATED BY CR ENVIRONMENTAL, INC. JANUARY 30, 2007 AND LOCATED BY FIELD SURVEY. MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION DEP FILE NUMBER SE116-1133 - EXTENSION PERMIT FOR RESOURCE AREA DELINEATION RECORDED AT PLYMOUTH REGISTRY OF DEEDS BOOK 39485; PAGE 248 ON DECEMBER 30, 2010; PERMIT EXPIRES IN NOVEMBER 27 2017. FIELD SURVEY PERFORMED BY SILVA ENGINEERING ASSOCIATES P.C. AND COMPLETED ON SEPTEMBER 22, 2007. 408 HOUSING DEVELOPMENT HAS DEP WETLANDS FILE NO: 116-1266.
- MASS HIGHWAY CONSTRUCTION DRAWINGS USED FOR LOCATIONS OF DRAINAGE STRUCTURES NOT LOCATED BY SURVEY ALONG ROUTES 104, 24 AND 495.
- BENCHMARK: BRASS RIVET IN SOUTHEAST END POST OF ROUTE 104 (NORTH MAIN STREET) BRIDGE OVER ROUTE 1-495. POINT I.D. 16834 STATION 6821 - ELEVATION 29.426 METERS (96.54 FEET) NAVD88 - VERTCON CONVERSION: ELEV: 97.35 (FEET) NGVD.
- SUBMITTAL TO AND REVIEW BY THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM BEGAN ON DECEMBER 14, 2006 WITH TRACKING NUMBER 00-8132.
- OFF SITE IMPROVEMENTS FOR WATER AND SEWER IS SUBJECT TO ORDER OF CONDITIONS DEP WETLAND FILE #SE116-1301; RECORDED AT THE PLYMOUTH COUNTRY REGISTRY OF DEEDS AS DEED BOOK 44110, PAGE 317.

PREPARED FOR:
CLAREMONT BRIDGEWATER II, LLC
LAKESHORE CENTER
BRIDGEWATER, MASSACHUSETTS 02333

PREPARED BY:
SILVA ENGINEERING ASSOCIATES, P.C.
1615 BEDFORD STREET
BRIDGEWATER, MASSACHUSETTS 02324



LAWRENCE P. SILVA, P.E.

'PERMIT SET 3-14-2014'

REVISIONS		
DATE	BY	DESCRIPTION
9/17/12	RAB	ADDRESS COMMENTS
9/27/12	RAB	ADDRESS COMMENTS
10/23/12	RAB	ADDRESS COMMENTS
2/28/13	RAB	REDUCE BUILDING AND PAVEMENT IMPACT
3/15/13	RAB	ADDRESS REVIEW COMMENTS
4/15/13	RAB	ADDITIONAL WAIVER REQUEST
5/30/13	RAB	ADDITIONAL DETAIL SHEET 14
10/30/13	RAB	ADDRESS DEP GRADING; FEMA FLOOD PLAN
11/26/13	RAB	PRICING/BID SET
3/14/14	RAB	PERMIT SET

PROJECT IS SUBJECT TO AN ORDER OF CONDITIONS
ISSUED BY THE BRIDGEWATER CONSERVATION
COMMISSION. DEP #SE116-1266 RECORDED AT THE
PLYMOUTH REGISTRY OF DEEDS AS DEED BOOK 43234
PAGE 62. SEE SHEET 14 FOR SPECIAL CONDITIONS.

ACAD. FILE SHEET
97032ER-408-SP12 1

PARCEL DATA:

ZONING REFERENCE:
 PLANNED DEVELOPMENT DISTRICT - RESIDENTIAL OPTION
 RESIDENTIAL A/B; AQUIFER PROTECTION OVERLAY
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 = 4 OFFICE SPACES PROVIDED
 527 TOTAL SPACES 9'x18' TYPICAL SIZE WITH 16 SPACES HANDICAP ACCESSIBLE
 WATER REQUIREMENTS: 63,888 GPD MAX
 SEWER REQUIREMENTS: 53,240 GPD MAX

INTENT:
 THE INTENT OF THE PROJECT IS TO COMBINE MAP 95, LOT 1 AND
 MAP 96, LOT 3 INTO ONE BUILDING ABLE LOT OF 24+ ACRES.

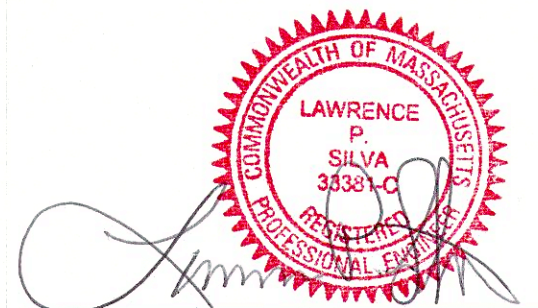
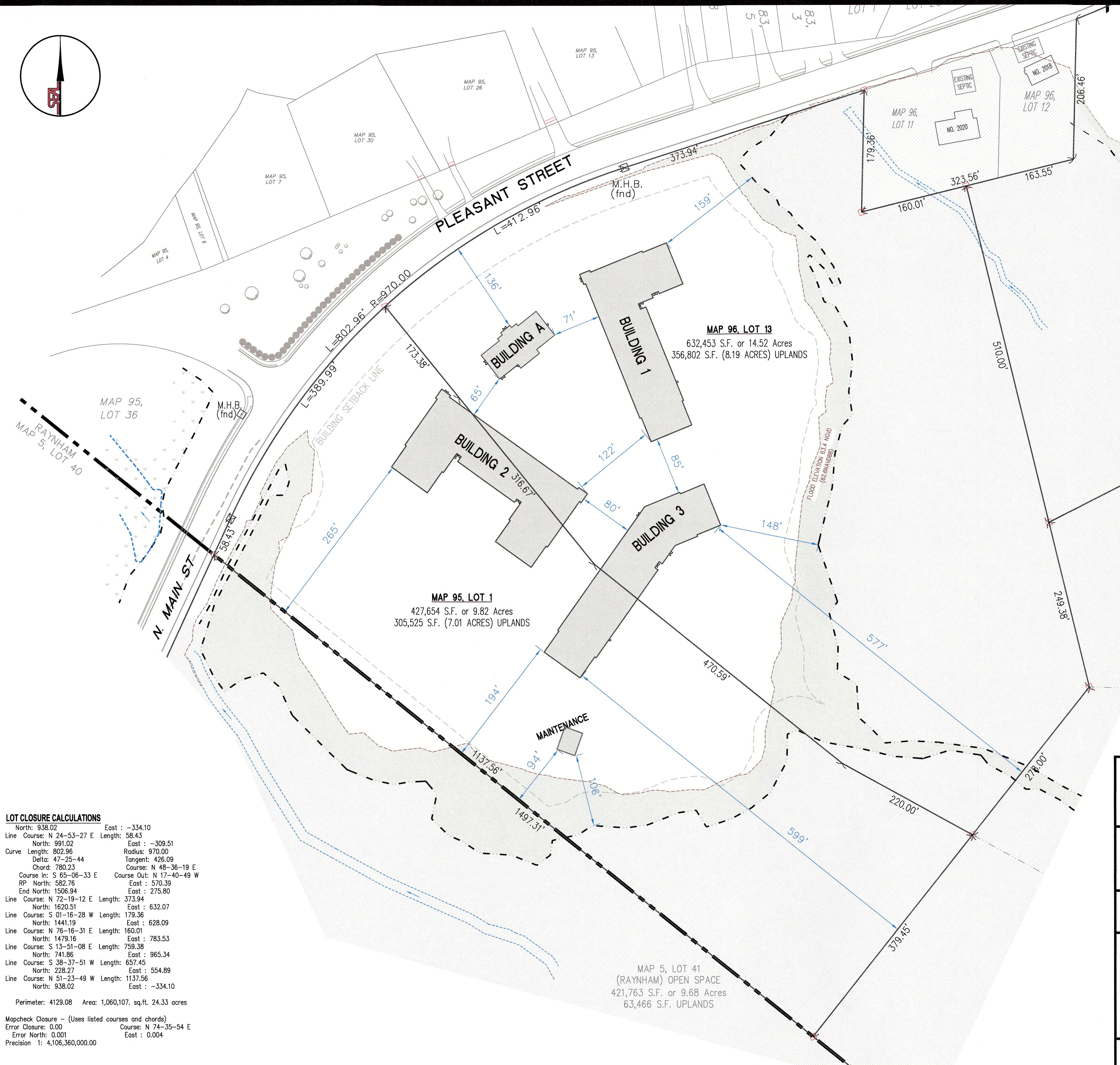
NOTE:
 THERE ARE NO KNOWN PRIVATE WATER SUPPLY WELLS WITHIN
 100-FOET OF THE PROPERTY.

LOT CLOSURE CALCULATIONS

North: 938.02 East: -334.10
 Line Course: N 24-53-27 E Length: 58.43
 North: 991.02 East: -309.51
 Curve Length: 802.96 Radius: 970.00
 Delta: 47-25-44 Tangent: 426.09
 Chord: 780.23 Course In: S 65-06-33 E Course Out: N 48-36-19 E
 RP North: 582.78 East: 570.39
 End North: 1506.94 East: 275.80
 Line Course: N 72-19-12 E Length: 373.94
 North: 1620.51 East: 632.07
 Line Course: S 01-16-28 W Length: 179.36
 North: 1441.19 East: 628.09
 Line Course: N 76-16-31 E Length: 160.01
 North: 1479.16 East: 783.53
 Line Course: S 13-51-08 E Length: 759.38
 North: 741.86 East: 965.34
 Line Course: S 38-37-51 W Length: 657.45
 North: 228.27 East: 554.89
 Line Course: N 51-23-49 W Length: 1137.56
 North: 938.02 East: -334.10

Perimeter: 4129.08 Area: 1,060,107. sq.ft. 24.33 acres

Mapcheck Closure - (Uses listed courses and chords)
 Error Closure: 0.00 Course: N 74-35-54 E
 Error North: 0.001 East: 0.004
 Precision 1: 4,106,360,000.00



LAWRENCE P. SILVA, P.E. REG No. 33381-C

DATE 3/14/2014

FLOOD ELEVATION
 63.4 NGVD (62.8NAVD88)
 BORDERING LAND
 SUBJECT TO FLOODING

WETLAND LINE
 CR264 WETLAND FLAG

REVISIONS		
DATE	BY	DESCRIPTION
9/17/12	RAB	ADDRESS COMMENTS
10/23/12	RAB	ADDRESS COMMENTS
2/28/13	RAB	REDUCE BUILDING AND PAVEMENT IMPACT
3/15/13	RAB	ADDRESS REVIEW COMMENTS
5/30/13	RAB	ADDITIONAL DETAIL SHEET 14
10/30/13	RAB	ADDRESS DEP GRADING; FEMA FLOOD PLAN
11/26/13	RAB	PRICING/BID SET
3/14/14	RAB	PERMIT SET

'THE RESIDENCES AT LAKESHORE' BUILDING LOCATION PLAN

'PERMIT SET 3-14-2014'

SITE:
 ASSESSOR'S MAP 95, LOT 1 & MAP 96, LOT 13
 OFF PLEASANT STREET (ROUTE 104)
 BRIDGEWATER, MASSACHUSETTS

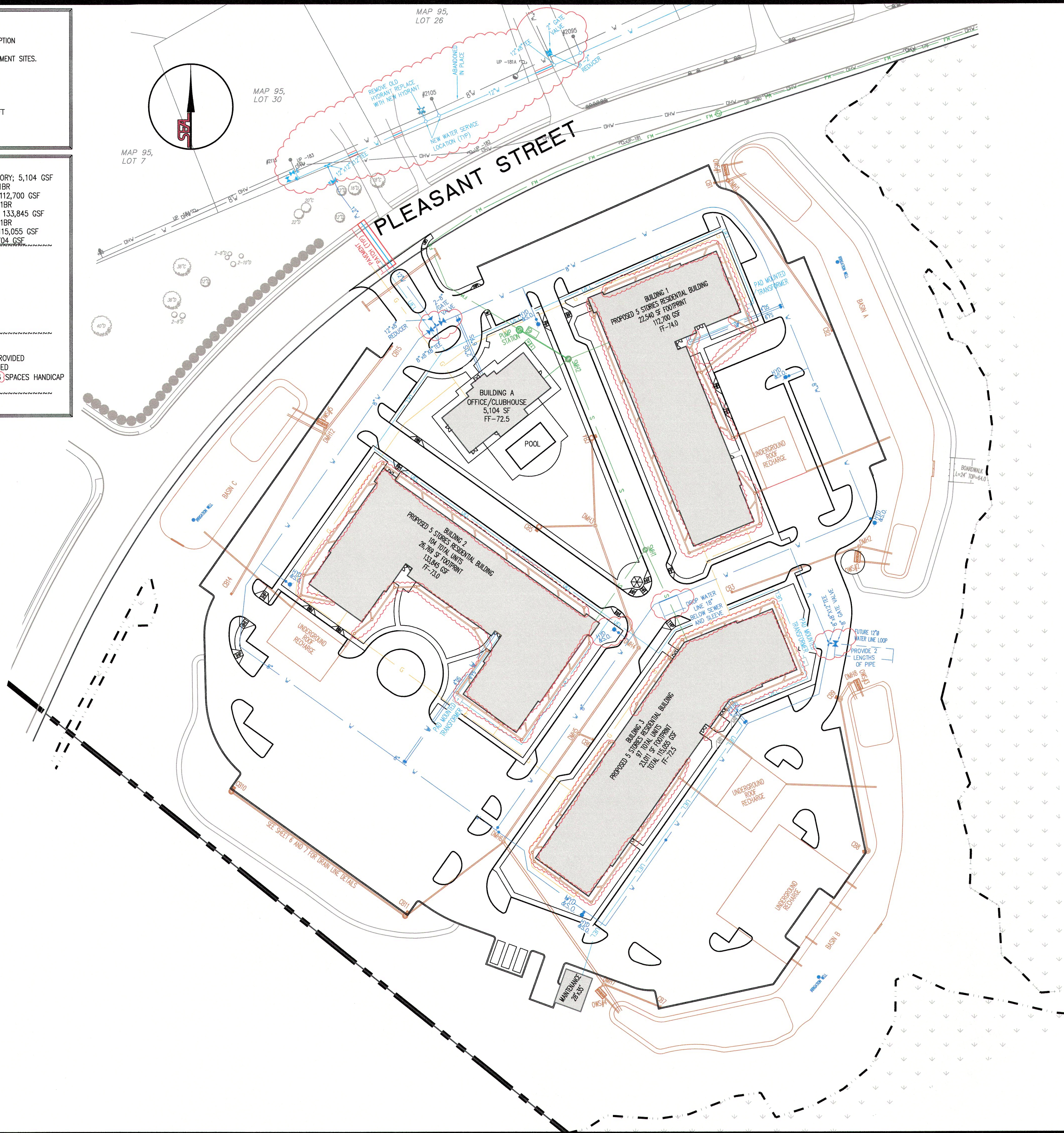
PREPARED FOR:
 CLAREMONT BRIDGEWATER II, LLC

SEA SILVA
 ENGINEERING
 ASSOCIATES, P.C.
 CIVIL ENGINEERS, LAND SURVEYORS
 & ENVIRONMENTAL CONSULTANTS
 1615 BEDFORD STREET
 BRIDGEWATER, MA. 02324
 PHONE (508) 697-3100 FAX (508) 697-3136
 www.silvaeng.com

SCALE	DRAWN	DATE	ACAD FILE	SHEET
1"=70'	SRM/RAB	3/5/12	97032BR-40B-SP12	2

PARCEL DATA:
ZONING REFERENCE:
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- LEGEND**
- WETLANDS
 - WATER SHUTOFF
 - WATER LINE
 - FIRE HYDRANT
 - UTILITY POLE
 - OVERHEAD WIRES
 - UNDERGROUND ELECTRIC
 - SEWER MANHOLE
 - GRAVITY SEWER LINE
 - SEWER FORCE MAIN
 - CATCH BASIN
 - DRAIN MANHOLE

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3/14/14	RAB	PERMIT SET

**'THE RESIDENCES AT LAKESHORE'
UTILITY LOCATION PLAN**

'PERMIT SET 3-14-2014'

SITE:
ASSESSOR'S MAP 95, LOT 1 & MAP 96, LOT 13
OFF PLEASANT STREET (ROUTE 104)
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
CLAREMONT BRIDGEWATER II, LLC

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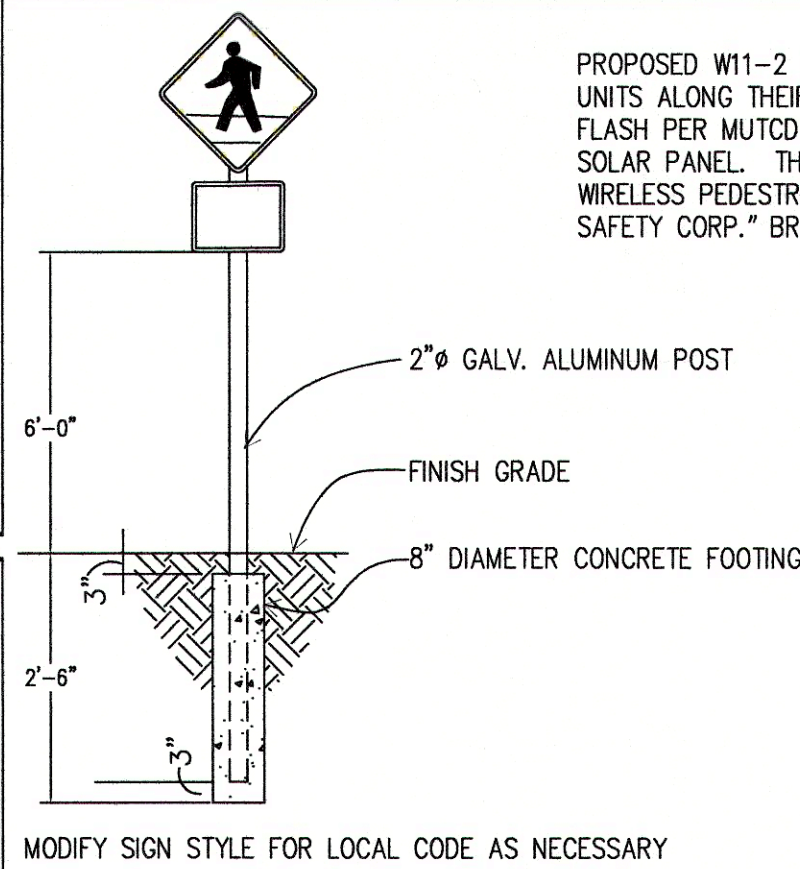
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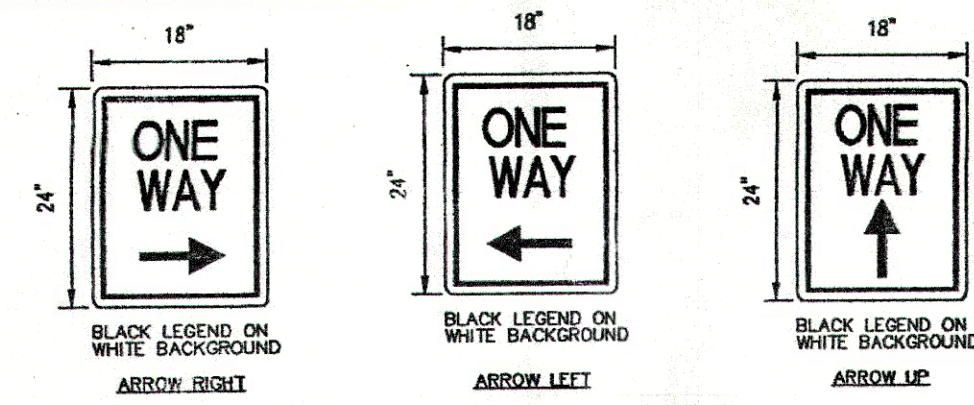
- PROPOSED VERTICAL CONCRETE CURBING
- PROPOSED CAPE COD BERM
- PROPOSED SLOPED FACE GRANITE CURBING
- PROPOSED PAVEMENT RADIUS (2')
- BIKE RACKS
- BORDERING VEGETATED WETLANDS



MODIFY SIGN STYLE FOR LOCAL CODE AS NECESSARY

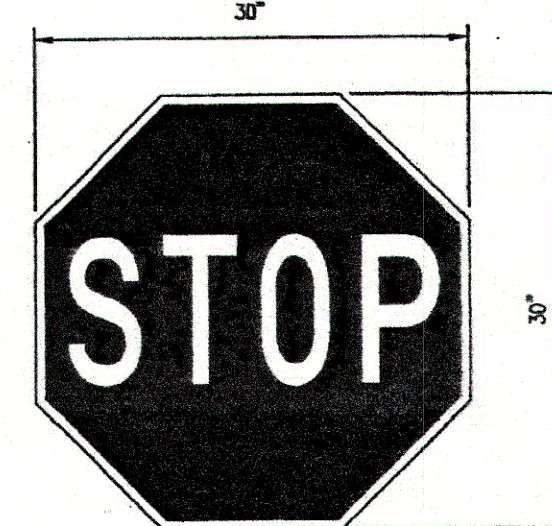
CROSSING SIGN DETAIL
(NOT TO SCALE)

PROPOSED W11-2 SIGNS SHALL HAVE INDIVIDUAL YELLOW LED UNITS ALONG THEIR BORDER. THESE LED LIGHTS SHALL FLASH PER MUTCD SPECIFICATIONS AND BE POWERED VIA A SOLAR PANEL. THESE SIGNS SHALL BE ACTIVATED BY A WIRELESS PEDESTRIAN PUSHBUTTON AND SHALL BE "TRAFFIC SAFETY CORP." BRAND OR APPROVED EQUAL.



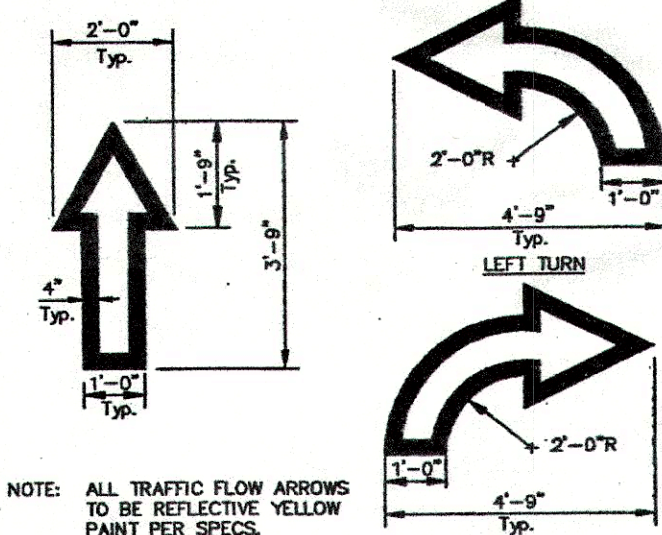
R6-2
"ONE WAY" SIGN
N.T.S.

2 - "ONE WAY" SIGN
QTY: 4

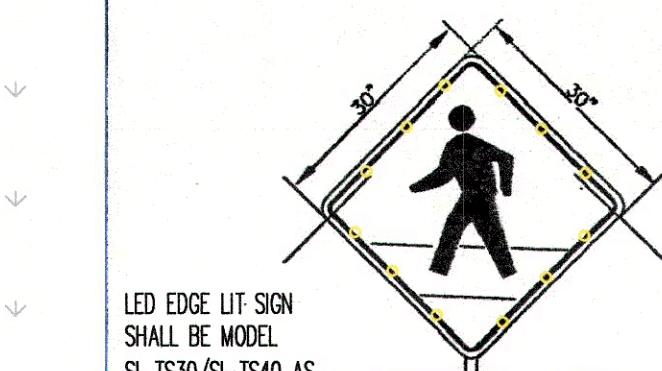


WHITE LEGEND RED BACKGROUND
R1-1
"STOP" SIGN
N.T.S.

1 - "STOP" SIGN
QTY: 12

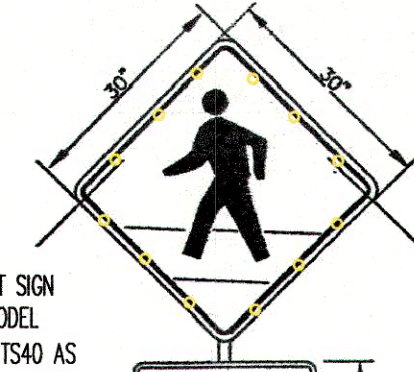


TRAFFIC FLOW ARROW
N.T.S.



"PEDESTRIAN CROSSING" SIGN
N.T.S.

3 - "PEDESTRIAN CROSSING" SIGN
QTY: 2



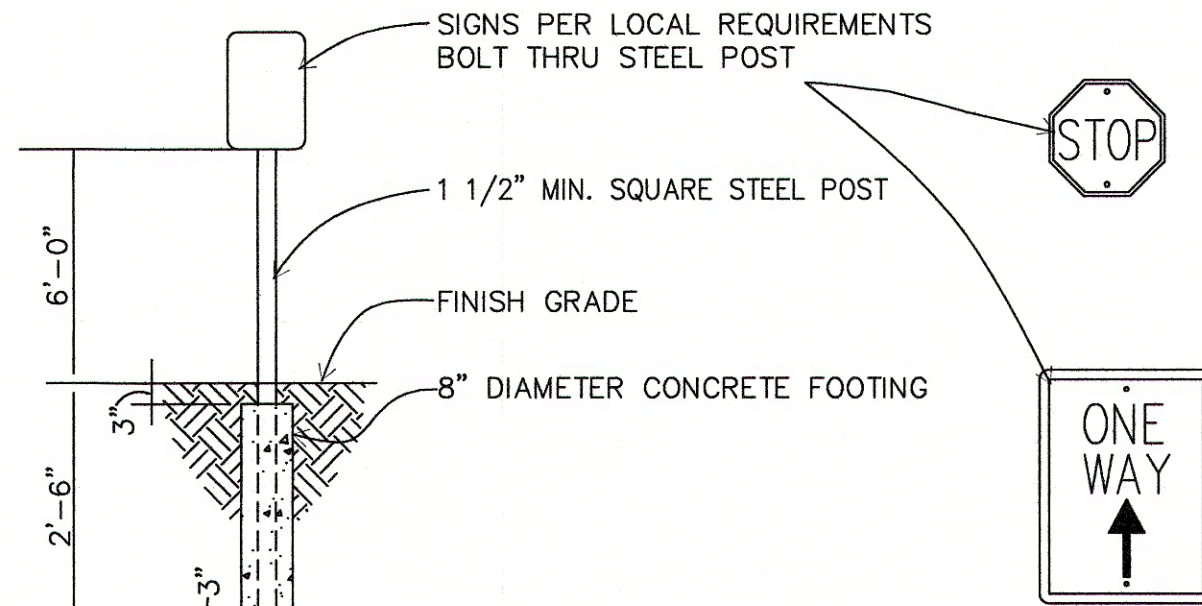
"PEDESTRIAN CROSSING" SIGN
N.T.S.

4 - "PEDESTRIAN CROSSING" SIGN
QTY: 2



LAWRENCE P. SILVA, P.E. REG No. 33381-C

DATE 3/14/2014



MODIFY SIGN STYLE FOR LOCAL CODE AS NECESSARY

SIGN DETAIL "STOP", "ONE WAY", & HANDICAP
(NOT TO SCALE)

REVISIONS		
DATE	BY	DESCRIPTION
9/17/12	RAB	ADDRESS COMMENTS
9/27/12	RAB	ADDRESS COMMENTS
10/23/12	RAB	ADDRESS COMMENTS
2/28/13	RAB	REDUCE BUILDING AND PAVEMENT IMPACT
3/15/13	RAB	ADDRESS REVIEW COMMENTS
4/15/13	RAB	ADDITIONAL WAIVER REQUEST
5/30/13	RAB	ADDITIONAL DETAIL SHEET 14
10/30/13	RAB	ADDRESS DEP GRADING; FEMA FLOOD PLAN
11/26/13	RAB	PRICING/BID SET
3/14/14	RAB	PERMIT SET

**'THE RESIDENCES AT LAKESHORE'
PARKING & PAVEMENT
LAYOUT**

'PERMIT SET 3-14-2014'

SITE:
ASSESSOR'S MAP 95, LOT 1 & MAP 96, LOT 13
OFF PLEASANT STREET (ROUTE 104)
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
CLAREMONT BRIDGEWATER II, LLC

SILVA ENGINEERING ASSOCIATES, P.C.
CIVIL ENGINEERS, LAND SURVEYORS
& ENVIRONMENTAL CONSULTANTS
1615 BEDFORD STREET
BRIDGEWATER, MA. 02324
PHONE (508) 697-3100 FAX (508) 697-3136
www.silvaeng.com

SCALE	DRAWN	DATE	ACAD FILE	SHEET
1"=50'	SRM/RAB	3/5/12	97032ER-40B-SP12	4

ZONING REFERENCE:
 PLANNED DEVELOPMENT DISTRICT – RESIDENTIAL OPTION
 RESIDENTIAL A/B; AQUIFER PROTECTION OVERLAY
 430 EXPEDITED PERMITTING AND PRIORITY DEVELOPMENT SITES.

MIN LOT SIZE:	43,560 SF
MIN LOT FRONTAGE:	150 FT
FRONT YARD:	40 FT
SIDE YARD:	20 FT
REAR YARD:	30 FT
MAX. BUILDING HEIGHT:	3 STORY OR 35 FT
MAX. % BUILDING COVERAGE:	20%
MAX. % OF LOT COVERAGE:	75%
MIN. % OPEN SPACE:	25%

LEASE OFFICE/CLUB HOUSE BUILDING A - 1 STORY; 5,104 GS
RESIDENTIAL BUILDING 1: 5-3BR; 54-2BR; 29-1BR
(88 TOTAL UNITS; 22,540 SF FOOTPRINT; 112,700 GSF
RESIDENTIAL BUILDING 2: 5-TYPE; 66-2BR; 33-1BR
104 TOTAL UNITS; 26,769 SF FOOTPRINT; 133,845 GSF
RESIDENTIAL BUILDING 3: 5-TYPE; 46-1BR
(97 TOTAL UNITS; 23,011 SF FOOTPRINT; 115,055 GSF
TOTAL 289 UNITS; 72,320 SF FOOTPRINT; 366,704 GSF

TOTAL AREA: 1,060,107 SF or 24.34 Acres
BUILDING COVERAGE: 1.6 ACRES (6.6%)
PARKING COVERAGE: 4.9 ACRES (20.1%)
SIDEWALK COVERAGE: 0.6 ACRES (2.5%)
OPEN AREAS: 17.24 ACRES (70.8%)
DRAINAGE: 1.0 ACRES (4.2%)
UPLANDS: 17.45 ACRES (29.1%)
WETLANDS: 9.13 ACRES (37.5%)

PARKING SPACES REQUIRED: 2 PER UNIT
PARKING SPACES PROVIDED: 1.8 PER UNIT OR
289 UNITS = (523) RESIDENTIAL SPACES PROVIDED
= 4 OFFICE SPACES PROVIDED

(527) TOTAL SPACES 9'x18" TYPICAL SIZE WITH (16) SPACES HAND
ACCESSIBLE

WATER REQUIREMENTS: 63,688 GPD MAX
SEWER REQUIREMENTS: 53,240 GPD MAX

1. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT: A TEMPORARY GRAVEL ENTRANCE SHALL BE INSTALLED FOR DUST MITIGATION. CRUSHED STONE (3/4" TO 1 1/2") SHALL BE PLACED A MINIMUM OF SEVENTY (70') FEET INTO SITE AT ENTRANCE WAYS DURING CONSTRUCTION ACTIVITIES. DURING WEATHER IT MAY BE NECESSARY TO WASH VEHICLE TIRES AT THIS LOCATION. THE ENTRANCE WILL BE GRADED SO THAT RUNOFF WATER WILL NOT BE DIRECTED TO CRITICAL RESOURCES AREAS.
2. CATCH BASIN/WATER QUALITY INLET PROTECTION: A TEMPORARY SILT SACK WILL BE INSTALLED ON ALL INLETS AND BE PROTECTED BY HAYBALES UNTIL SUCH TIME AS DEEMED APPROPRIATE AFTER STABILIZATION OF THE PROPOSED DRAINAGE SYSTEM.
3. TREE PRESERVATION AND PROTECTION: A MINIMUM 2.0 FT. HIGH PROTECTIVE FENCE WILL BE ERECTED AROUND ANY TREES THAT ARE TO REMAIN ON SITE DURING AND AFTER CONSTRUCTION ACTIVITIES. SEDIMENT FENCE MATERIALS MAY BE USED FOR THIS PURPOSE.
4. SEDIMENT CONTROL: CONSTRUCTION OF A SEDIMENT BARRIERS AROUND THE DISPOSAL STOCKPILE AND ADJACENT TO THE DEEP CUT AREAS AS NECESSARY TO PREVENT EROSION AND SEDIMENT FROM ENTERING CRITICAL AREAS.
5. OUTLET STABILIZATION STRUCTURE: A RIPRAP APRON WILL BE LOCATED AT ANY DRAINAGE OUTLETS AS INDICATED ON THE PLANS TO PREVENT SCOUR.
6. SURFACE ROUGHENING: THE 3:1 CUT SLOPES WILL BE LIGHTLY ROUGHENED BY DISKING JUST PRIOR TO VEGETATING.
7. SURFACE STABILIZATION: STABILIZATION OF THE SURFACE WILL BE ACCOMPLISHED WITH VEGETATION AND MULCH. ROADWAY AND PARKING LOT BASE COURSES WILL BE INSTALLED AS SOON AS FINISHED GRADE IS REACHED. 2:1 SLOPES WILL BE STABILIZED WITH JUTE MAT OR SIMILAR MATERIAL.

DUST CONTROL: THE CONTRACTOR SHALL TAKE STEPS TO MINIMIZE THE AMOUNT OF DUST GENERATED ON THE SITE INCLUDING THOSE PROCEDURES CONTAINED IN THIS DOCUMENT.

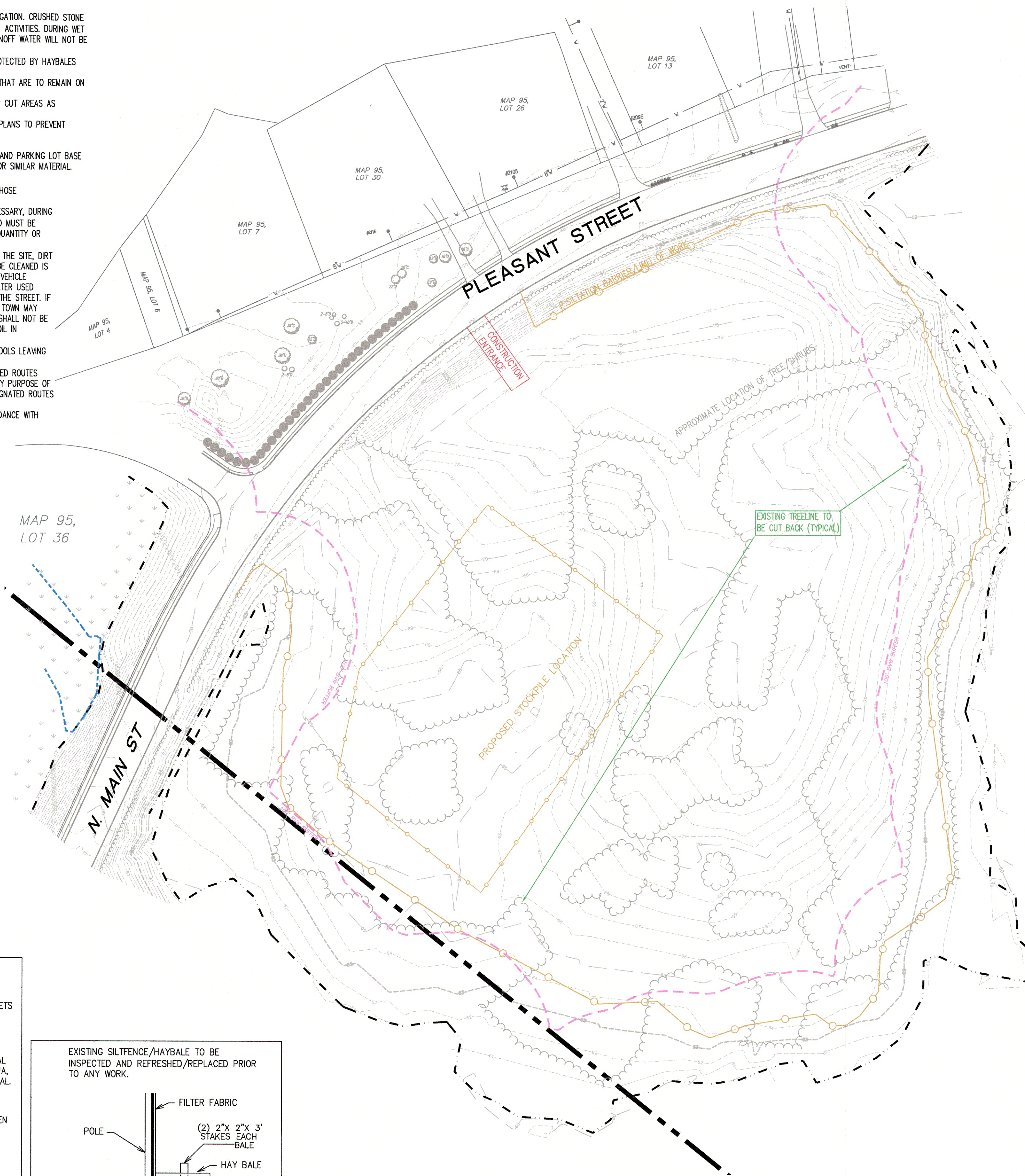
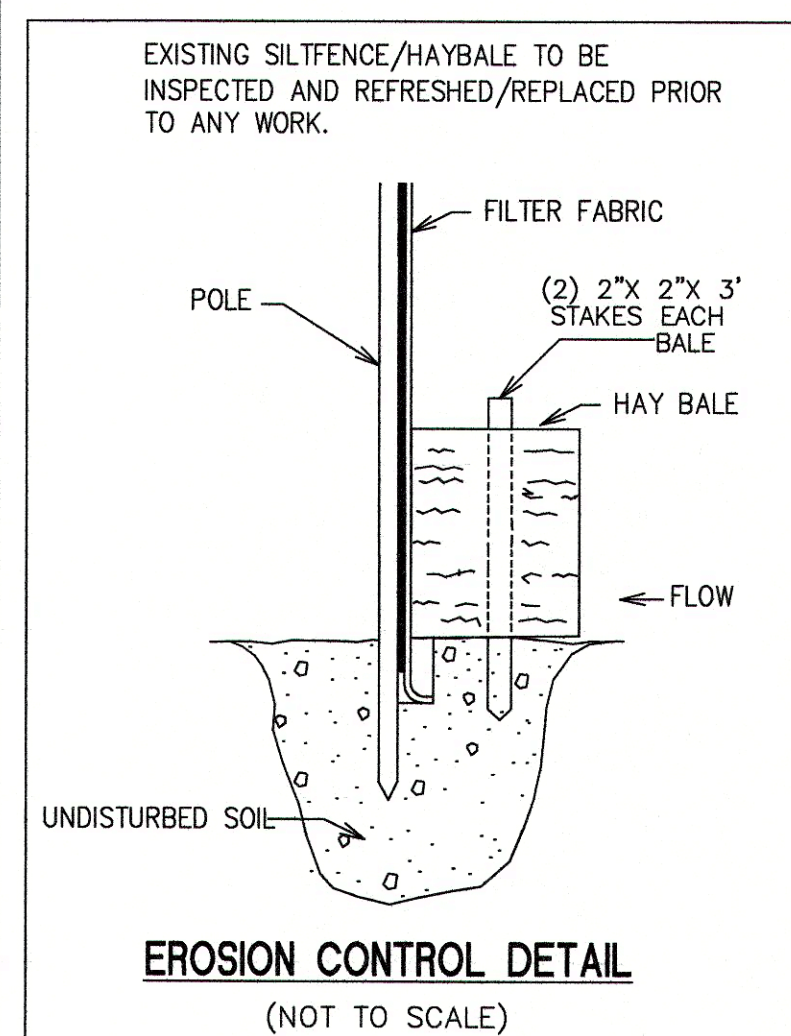
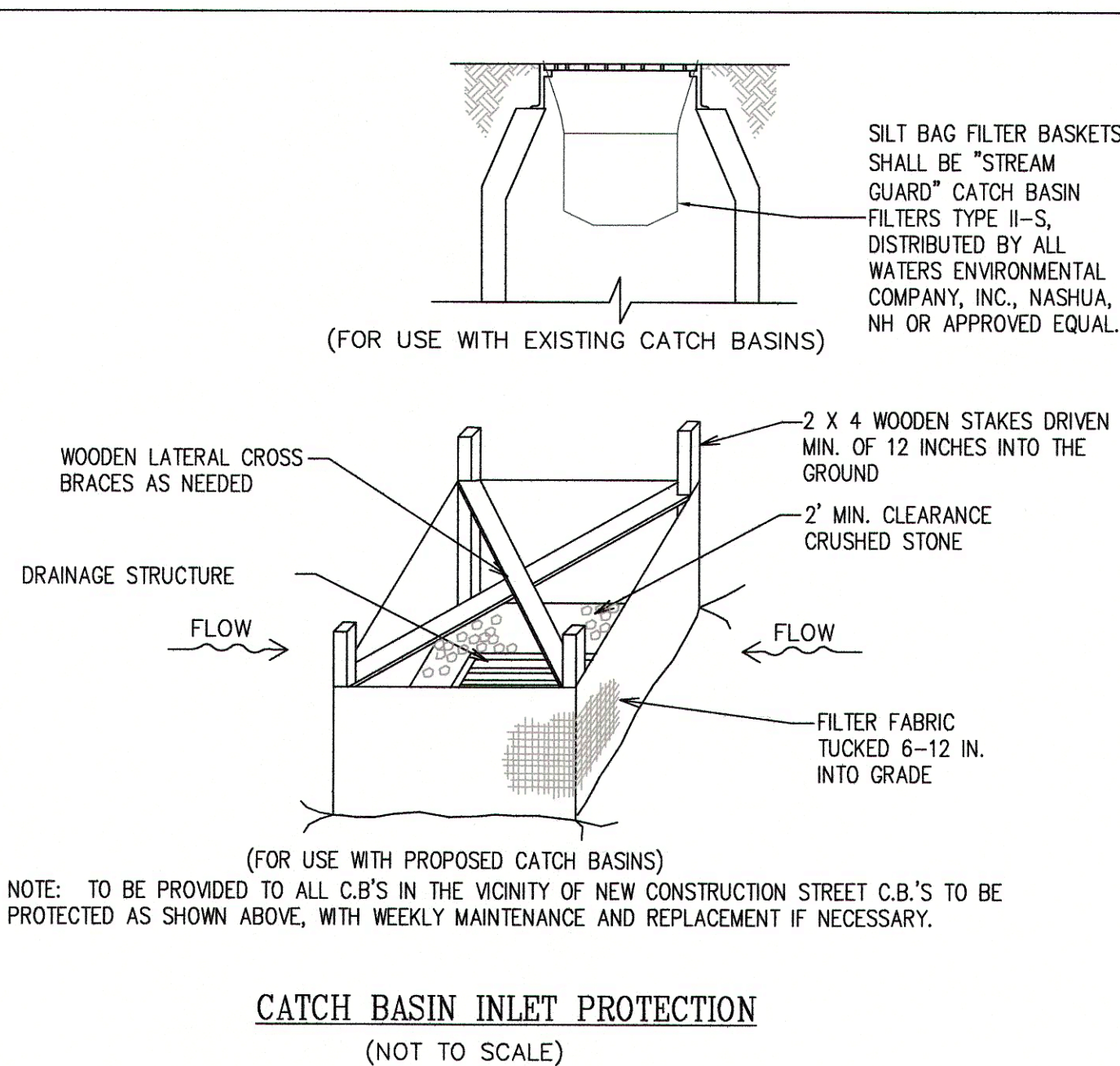
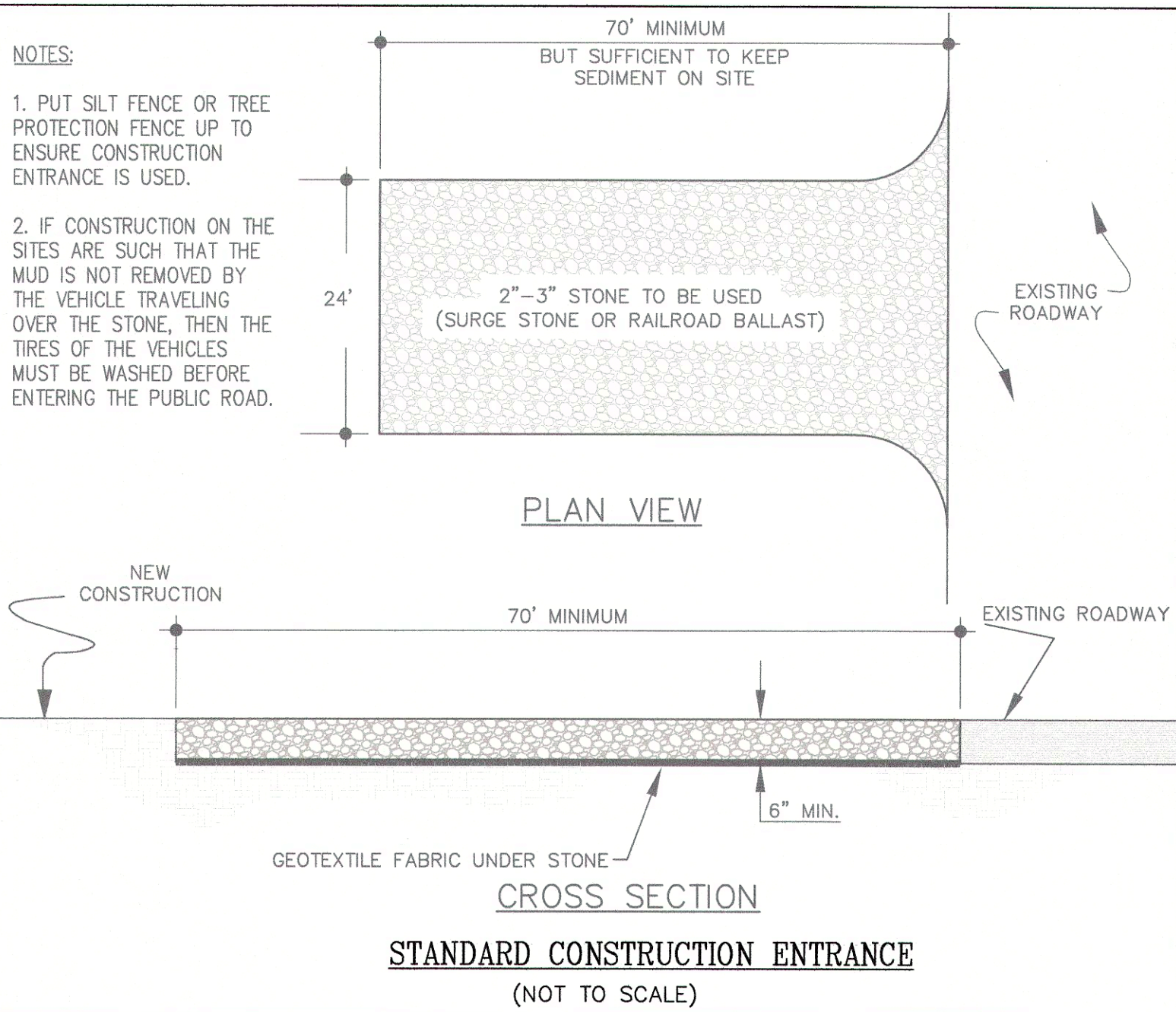
SOIL SURFACE WETTING: THE CONTRACTOR SHALL ENSURE THAT ALL SURFACES TO BE EXCAVATED ARE WET PRIOR TO, AND IF NECESSARY, DURING EXCAVATION. OTHER POTENTIAL WETTING AND/OR DUST CONTROL ACTIONS MAY BE PROPOSED FOR USE BY THE CONTRACTOR AND MUST BE APPROVED BY THE TOWN PRIOR TO USE ON SITE. IF WATER IS APPLIED TO THE SITE, IT SHALL NOT BE APPLIED IN SUFFICIENT QUANTITY OR FREQUENCY TO CAUSE COALITION OF THE SURFACE TO WHICH IT IS APPLIED.

PAVEMENT CLEANING: DURING PERIODS WHEN TRUCKS AND/OR TRANSPORTING SOILS AND/OR LANDSCAPING MATERIALS TO OR FROM THE SITE, DIRT THAT MAY HAVE BEEN TRACKED OFF THE SITE SHALL BE REMOVED DAILY FROM THE PAVEMENT AND SIDEWALKS. THE AREA TO BE CLEANED IS TO EXTEND TO THE LIMIT OF NOTICEABLE DIRT TRACKED FROM THE SITE OR FOR A DISTANCE OF 100 FEET ON EACH SIDE OF A VEHICLE ENTRANCE OR EXIT, WHICHEVER IS GREATER. IF WATER IS USED TO CLEAN THE SIDEWALK OR STREET THEN THE QUANTITY OF WATER USED SHALL NOT RESULT IN SEDIMENT BEING WASHED INTO THE STORM SEWER DRAINAGE BASINS OR FOR EXCESS WATER TO FREEZE ON THE STREET. IF IN THE OPINION OF THE TOWN, MANUAL STREET SWEEPING IS INSUFFICIENT TO CONTROL THE DIRT TRACKED FROM THE SITE, THE TOWN MAY REQUIRE THE CONTRACTOR TO EMPLOY A STREET SWEEPER FOR PAVEMENT CLEANING OPERATIONS. STREET SWEEPINGS SHALL NOT BE DISPOSED IN ANY CATCH BASIN OR ANY SEWER. STREET SWEEPINGS SHALL BE DISPOSED OF AS A WASTE ALONG WITH WASTE SOIL IN ACCORDANCE WITH APPLICABLE REGULATIONS.

ENTRY/EXIT POINTS: ALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO VEHICLES, TRUCKS, EXCAVATING EQUIPMENT AND HAND TOOLS LEAVING THE SITE MUST BE FREE OF DIRT PRIOR TO REMOVAL (EITHER TEMPORARILY OR PERMANENTLY) FROM THE SITE.

DESIGNATED ROUTES: ALL VEHICLES TRANSPORTING SOIL OR OTHER MATERIALS TO OR FROM THE SITE SHALL FOLLOW DESIGNATED ROUTES WITHIN THE SITE. THESE ROUTES ARE TO BE ESTABLISHED BY THE CONTRACTOR AND MARKED BY THE CONTRACTOR. THE PRIMARY PURPOSE OF THESE ROUTES IS TO REDUCE THE CONTACT BETWEEN VEHICLES AND IMPACTED AREAS OF THE SITE. THE LOCATION OF THE DESIGNATED ROUTES SHALL BE SUBJECT TO ENVIRONMENTAL AND TECHNICAL REQUIREMENTS.

TARPED LOADS: ALL TRUCKS LEAVING THE SITE WHICH HAVE BEEN LOADED WITH SOIL OR DEBRIS SHALL BE TARPED IN ACCORDANCE WITH APPLICABLE REGULATIONS.



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3/14/14	RAB	PERMIT SET

THE RESIDENCES AT LAKESHORE
EROSION CONTROL
PLAN
'PERMIT SET 3-14-2014'

SITE:
ASSESSOR'S MAP 95, LOT 1 & MAP 96, LOT 13
OFF PLEASANT STREET (ROUTE 104)
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
CLAREMONT BRIDGEWATER II, LLC

SEA SILVA
ENGINEERING
ASSOCIATES, P.C.


CIVIL ENGINEERS, LAND SURVEYORS
& ENVIRONMENTAL CONSULTANTS

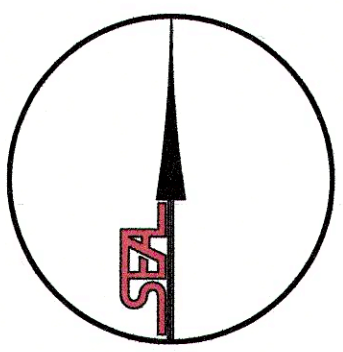
1615 BEDFORD STREET
BRIDGEWATER, MA. 02324

PHONE (508) 697-3100 FAX (508) 697-3136

www.silvaeng.com

SCALE	DRAWN	DATE	ACAD FILE	SHEET
1"=70'	SRM/RAB	3/5/12	97032EIR-40B-SP12	5


LAWRENCE P. SILVA
33381-C
Lawrence P. Silva
LAWRENCE P. SILVA, P.E. REG No. 33381-C
3/14/2014
DATE



LEGEND

- EDGE OF PAVEMENT
- EXISTING CONTOUR
- PROPOSED GRADE
- WETLAND LINE
- OIL GRIT SEPARATOR
- LIMIT OF WORK
- RIP. RAP.
- TEST HOLE LOCATION
- CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- SEWER FORCED MAIN
- SEWER GRAVITY MAIN
- IRRIGATION WELL

SNOW MAINTENANCE:
REMOVAL AND STORAGE WILL BE IN AREAS ALONG THE EDGE OF THE PAVEMENT WHERE SPACE ALLOWS. (SEE SNOW STORAGE PLAN). THE SNOW STORAGE AREAS DO NOT INCLUDE THE CATCH BASINS, FOREBAY AREAS, INFILTRATION BASIN OR IMPED THE FUNCTION OF OTHER DRAINAGE COMPONENTS. ANY SNOW EXCEEDING THE STORAGE AREA OF THE SITE SHALL BE HAULED OFF SITE IN A PREDETERMINED AND APPROVED LOCATION.

PLEASANT STREET

BUILDING 1
PROPOSED 5 STORIES RESIDENTIAL BUILDING
22,540 SF FOOTPRINT
112,700 GSF
FF-74.0

BUILDING A
OFFICE/CLUBHOUSE
5,104 SF
FF-72.5

POOL

BUILDING 2
104 TOTAL UNITS
26,189 SF FOOTPRINT
133,845 GSF
FF-73.0

MATCHLINE

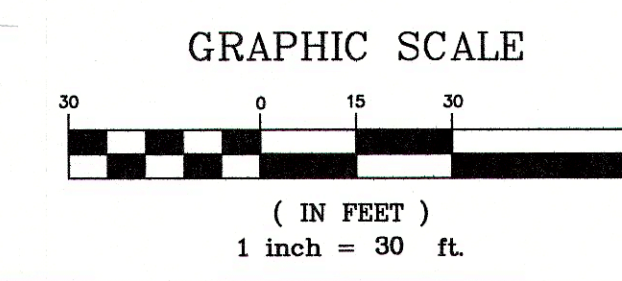
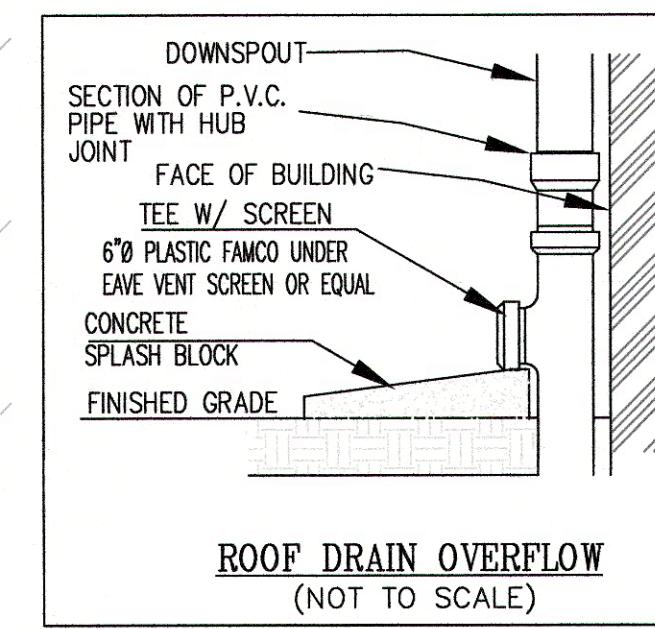
ILLICIT DISCHARGE COMPLIANCE STATEMENT:
STORMWATER SYSTEMS IDENTIFIED ON SITE ARE FOR CONVEYING STORMWATER SHALL NOT ALLOW THE ENTRY OF ANY WASTEWATER DISCHARGES INTO THE STORMWATER MANAGEMENT SYSTEM.

THE SITE PLANS IDENTIFY THE LOCATION OF THE STORMWATER AND WASTEWATER CONVEYANCE SYSTEMS AND SHOWS THAT THERE ARE NO PLANNED CONNECTIONS BETWEEN THE STORMWATER AND WASTEWATER MANAGEMENT SYSTEMS.



LAWRENCE P. SILVA, P.E. REG No. 33381-C

DATE 3/14/2014



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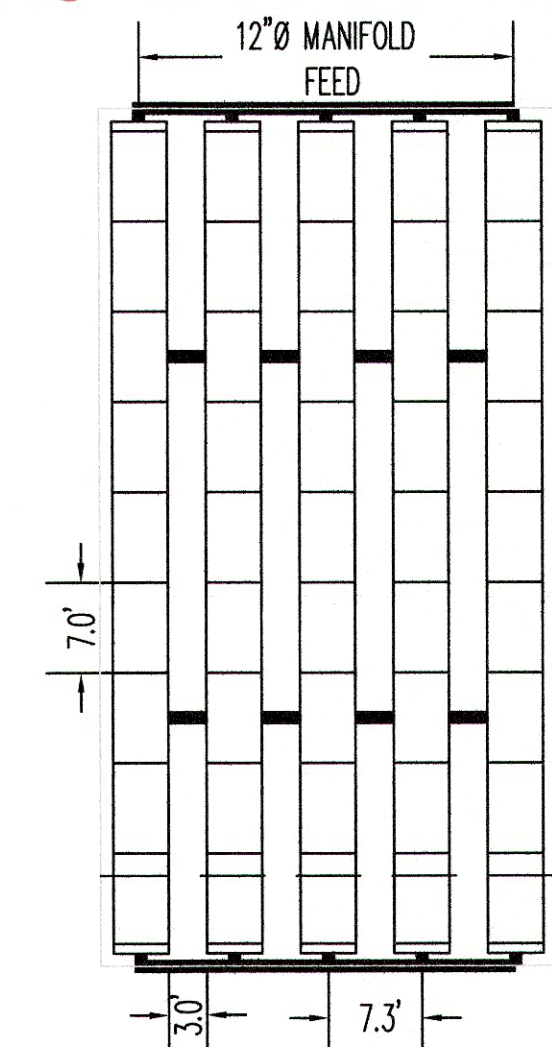
'THE RESIDENCES AT LAKESHORE'
SITE GRADING & DRAINAGE
'PERMIT SET 3-14-2014'

SITE:
ASSESSOR'S MAP 95, LOT 1 & MAP 96, LOT 13
OFF PLEASANT STREET (ROUTE 104)
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
CLAREMONT BRIDGEWATER II, LLC

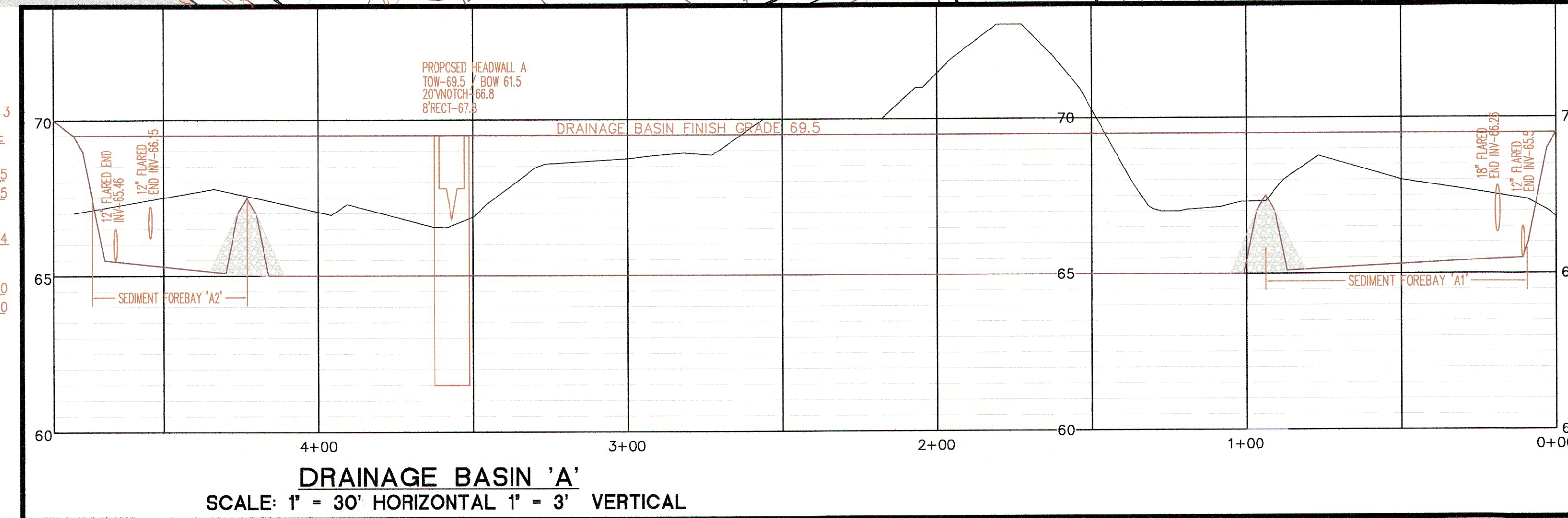
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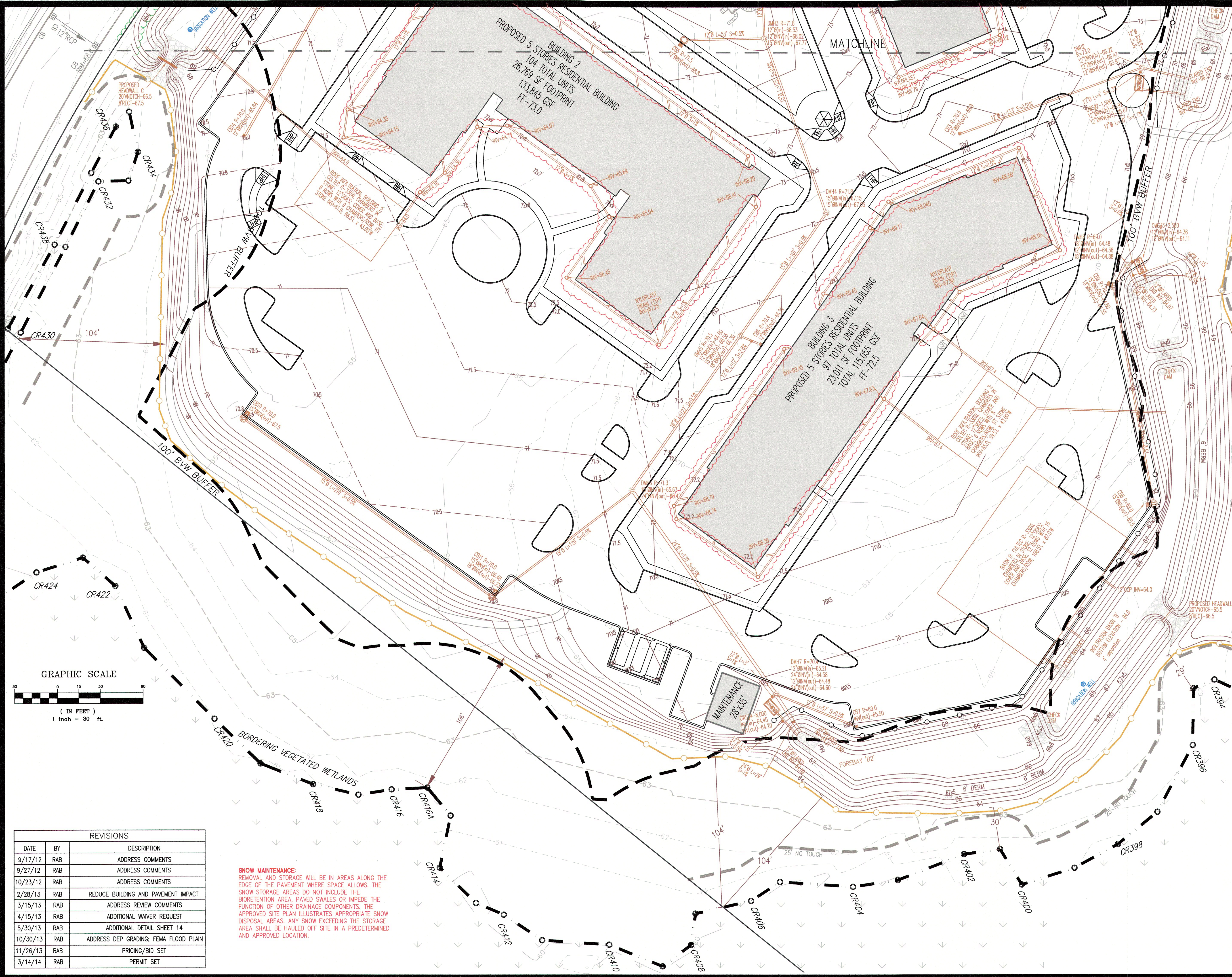
SCALE	DRAWN	DATE	ACAD FILE	SHEET
1"=30'	SRM/RAB	3/5/12	97032ER-400-SP12	6




BUILDING 1	BUILDING 2	BUILDING 3
ELEV-74.4	ELEV-72.4	ELEV-71.4
ELEV-67.7	ELEV-66.1	ELEV-69.5
ELEV-66.7	ELEV-65.1	ELEV-68.5
ELEV-65.6	ELEV-64.0	ELEV-67.4
ELEV-64.2	ELEV-62.6	ELEV-66.0
ELEV-63.2	ELEV-61.6	ELEV-65.0

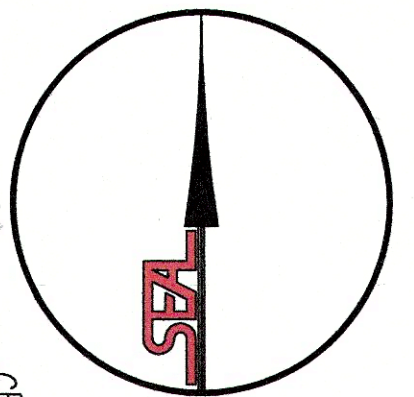
BUILDING ROOF INFILTRATION
TYPICAL



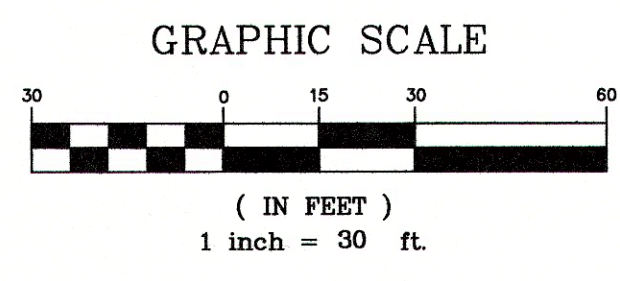



LAWRENCE P. SILVA, P.E. REG No. 33381-C

DATE 3/14/2014



- LEGEND**
- EDGE OF PAVEMENT
 - EXISTING CONTOUR
 - PROPOSED GRADE
 - WETLAND LINE
 - OIL GRIT SEPARATOR
 - LIMIT OF WORK
 - RIP, RAP
 - TEST HOLE LOCATION
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SNOW MAINTENANCE:
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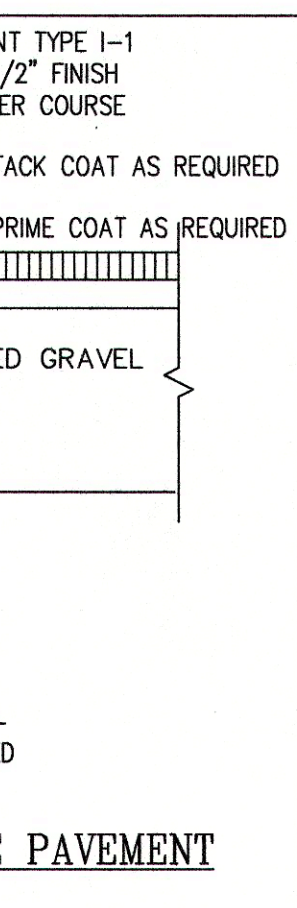
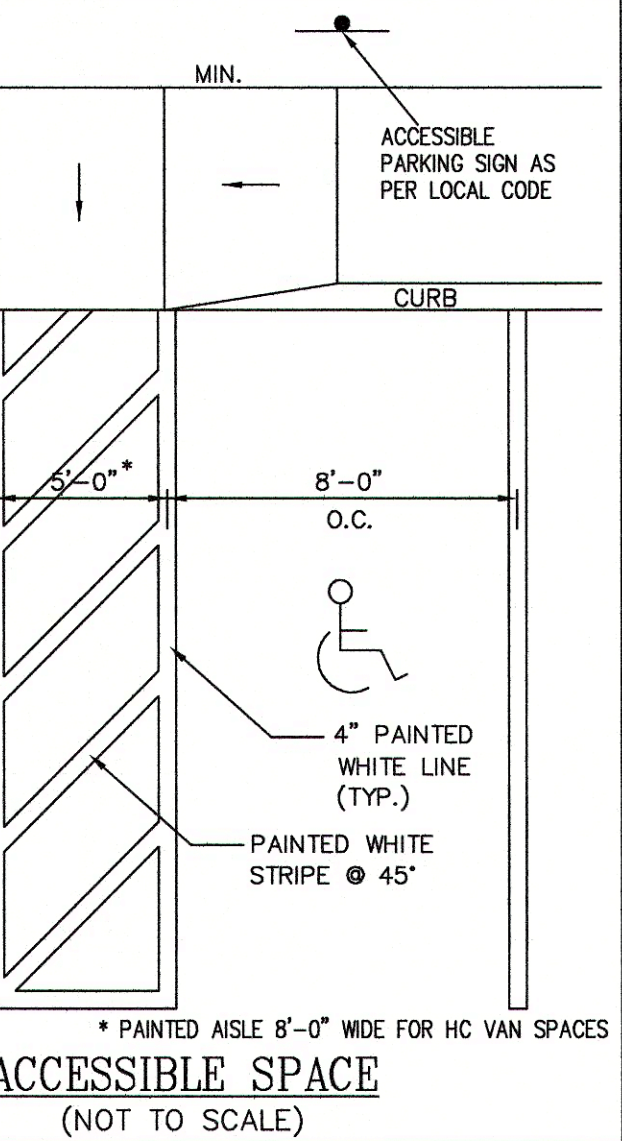
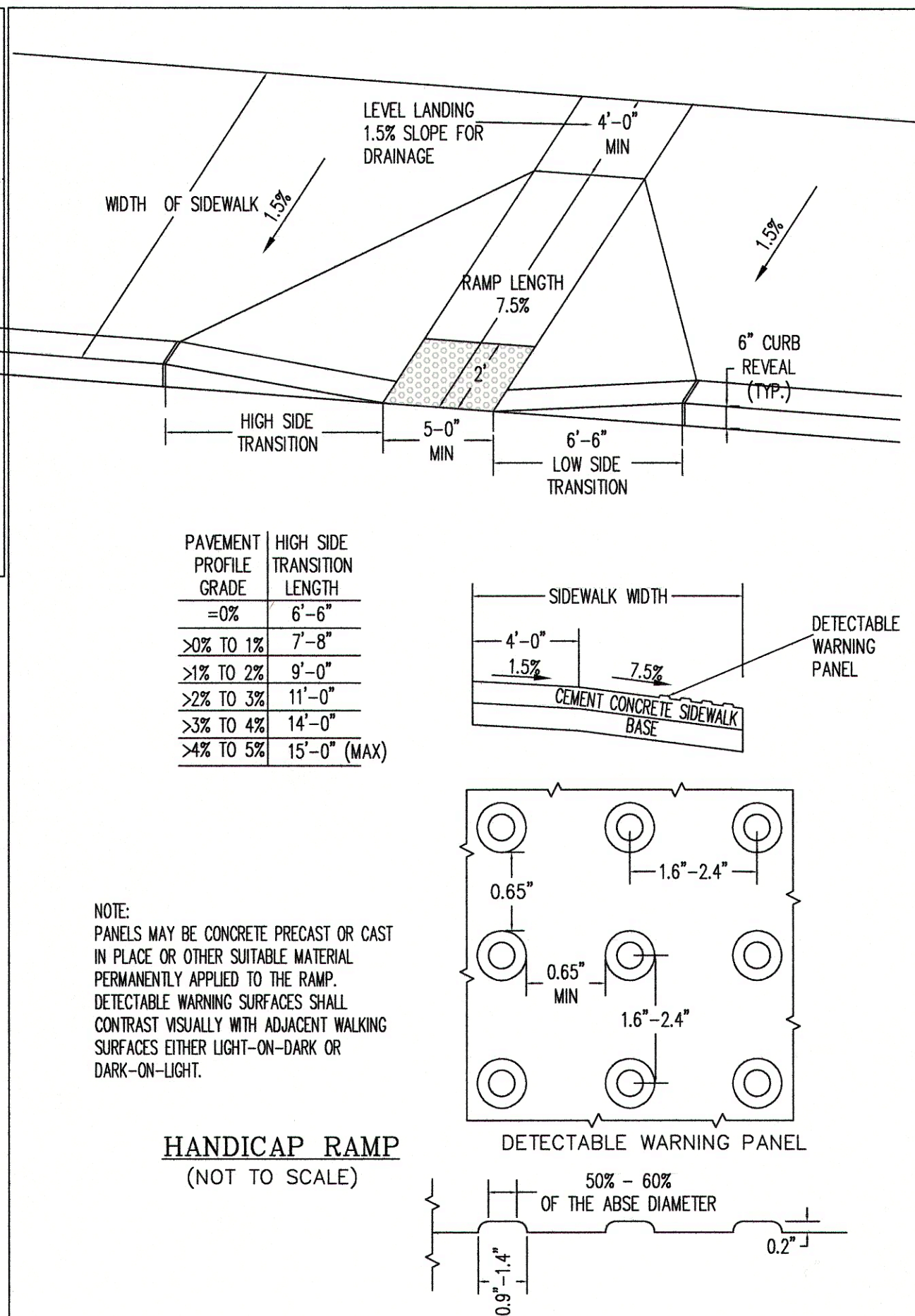
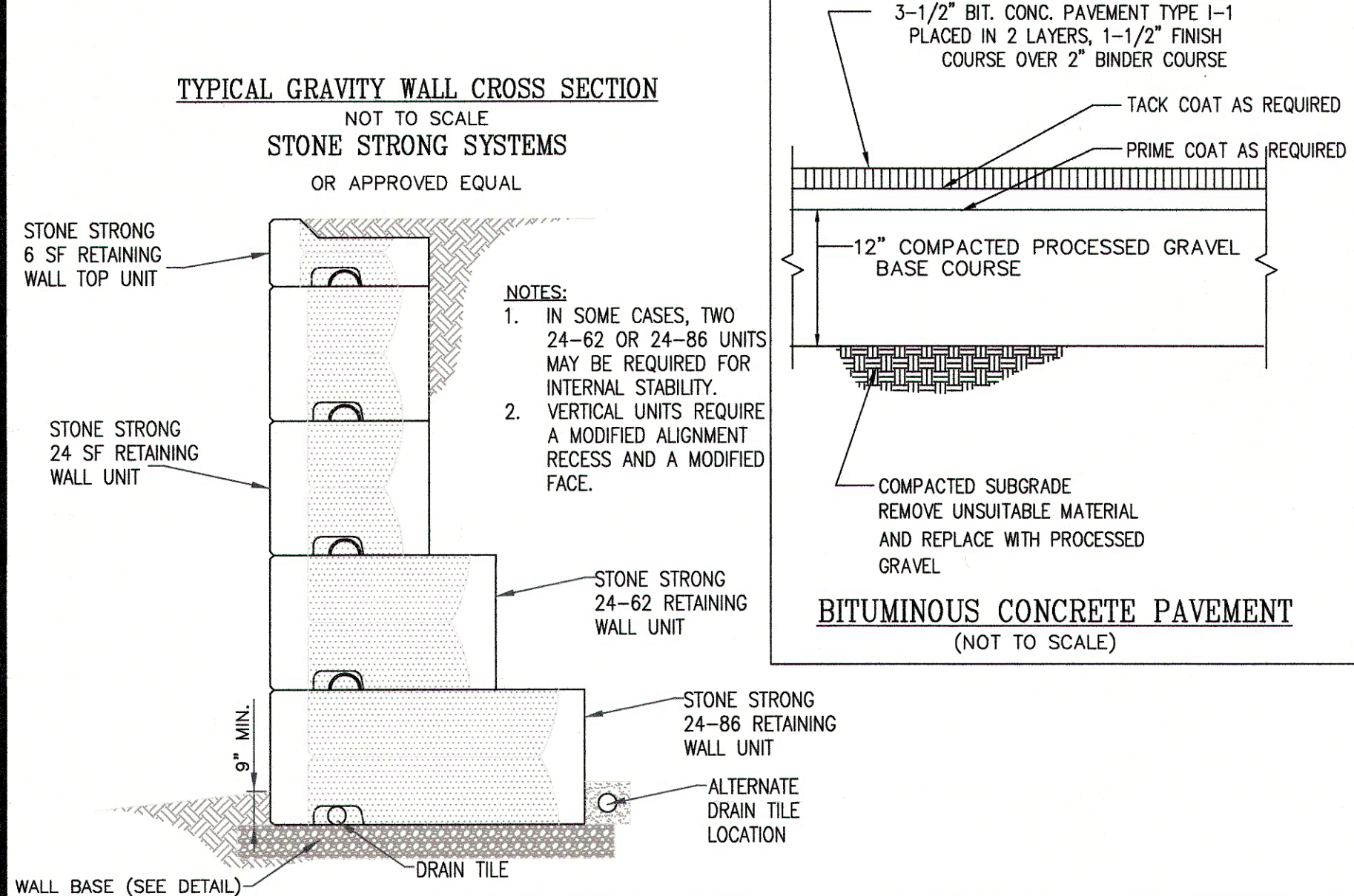
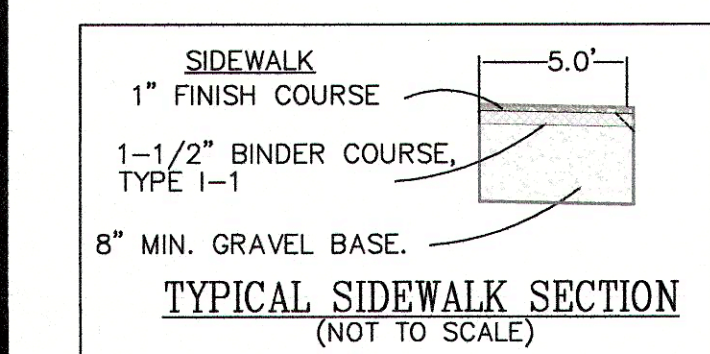
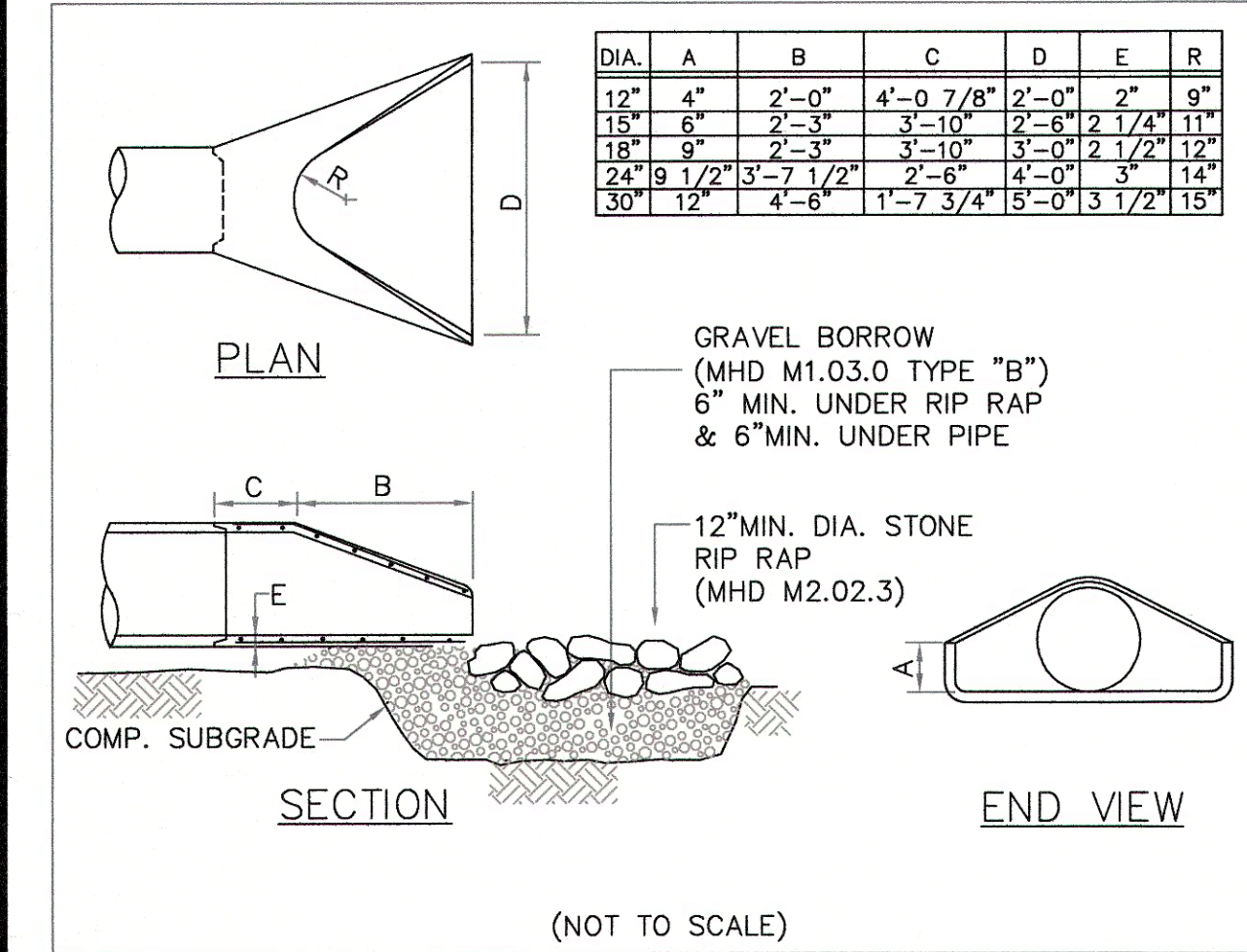
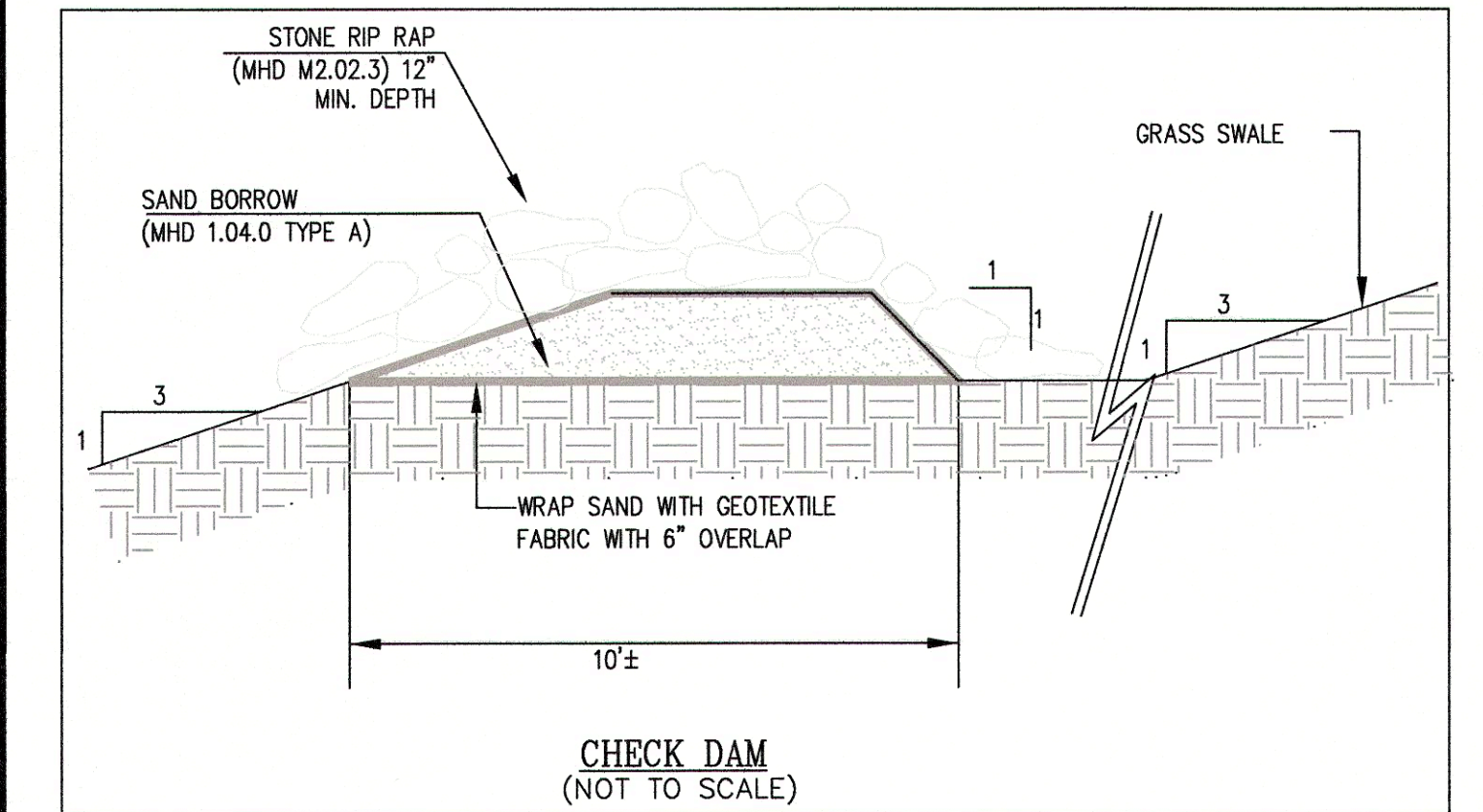
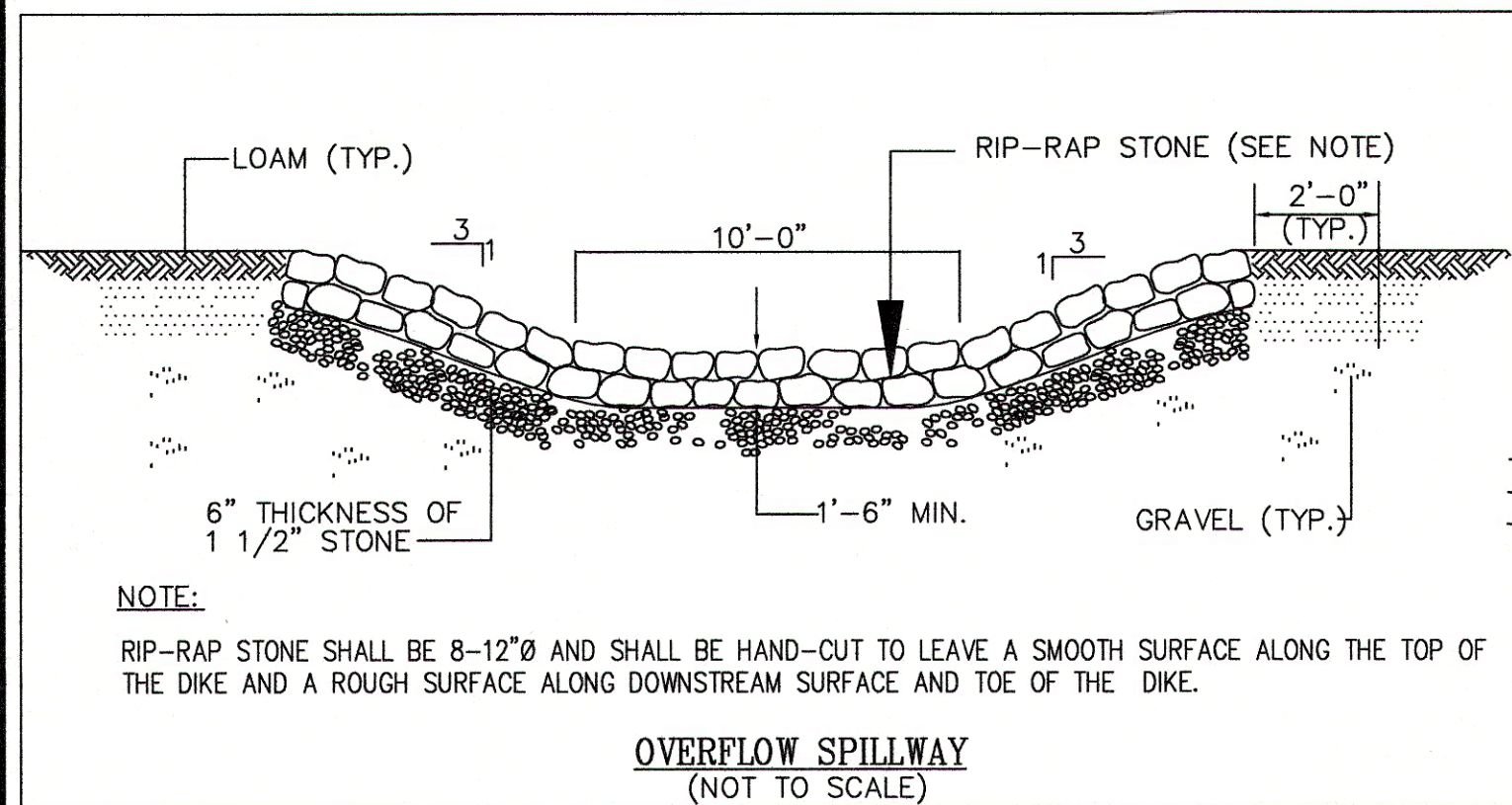
'THE RESIDENCES AT LAKESHORE'
SITE GRADING & DRAINAGE
'PERMIT SET 3-14-2014'

SITE:
ASSESSOR'S MAP 95, LOT 1 & MAP 96, LOT 13
OFF PLEASANT STREET (ROUTE 104)
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
CLAREMONT BRIDGEWATER II, LLC

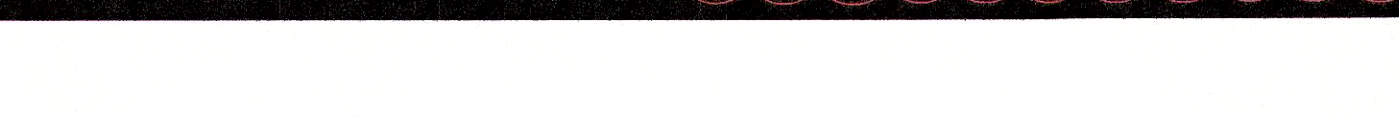
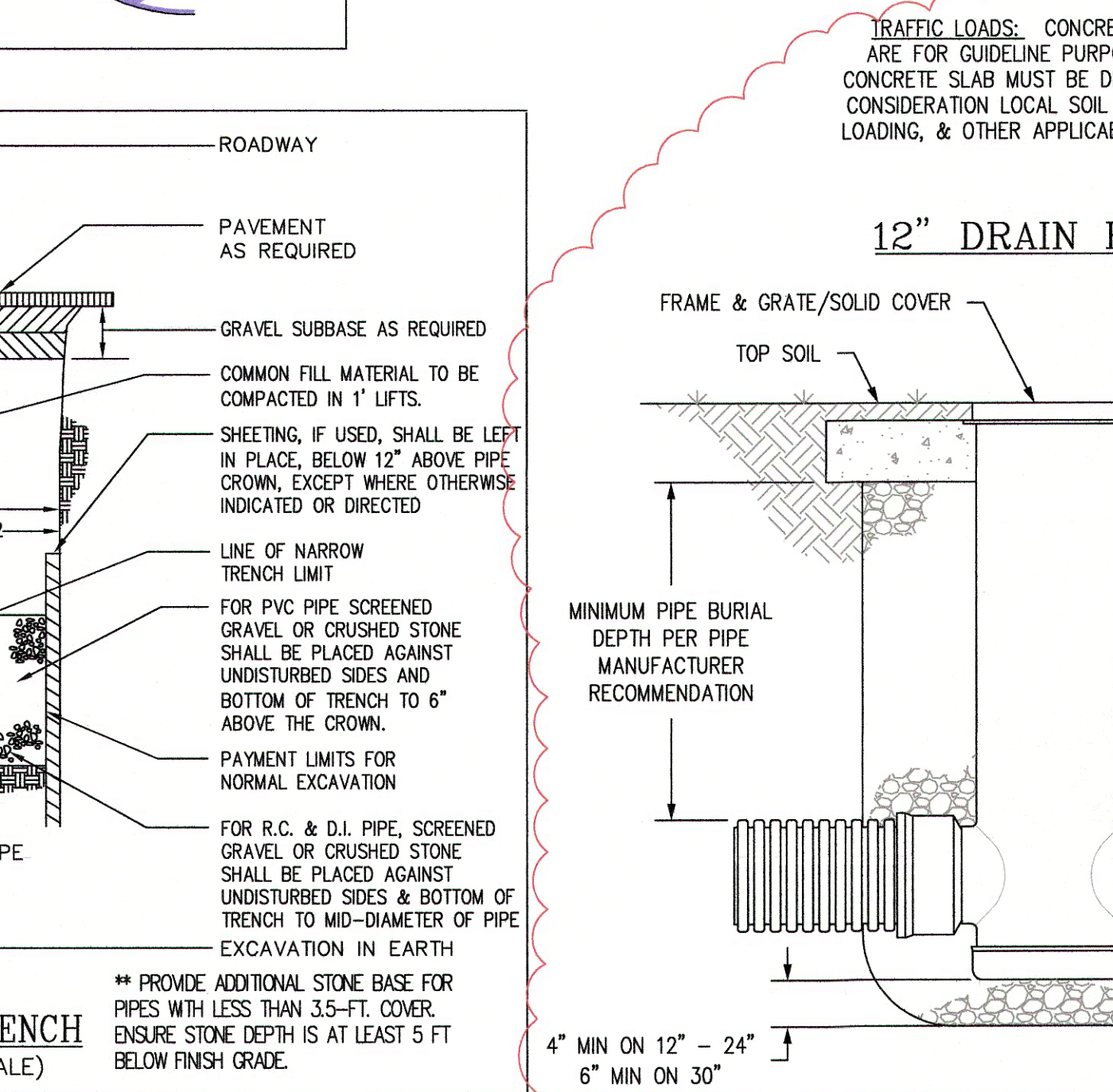
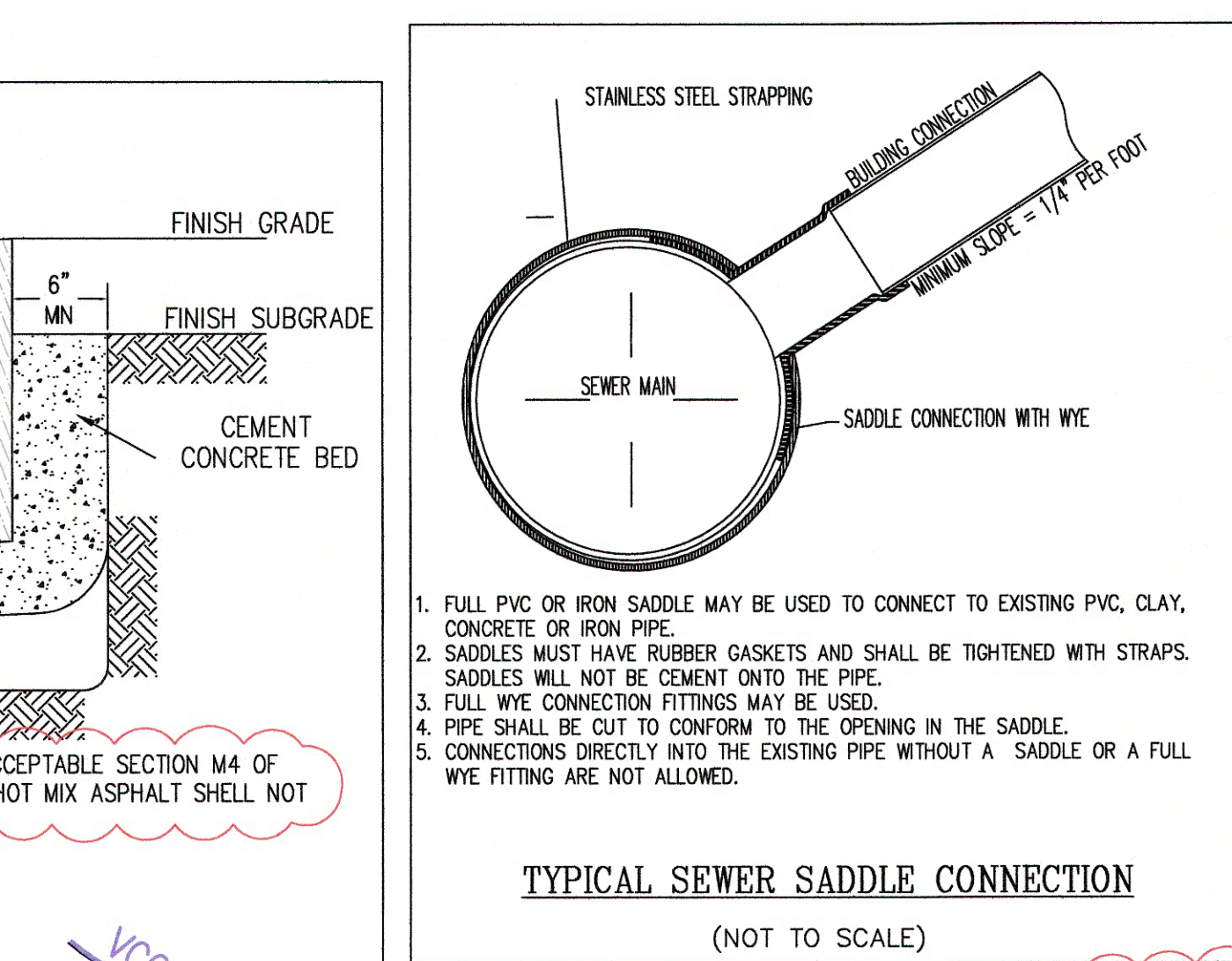
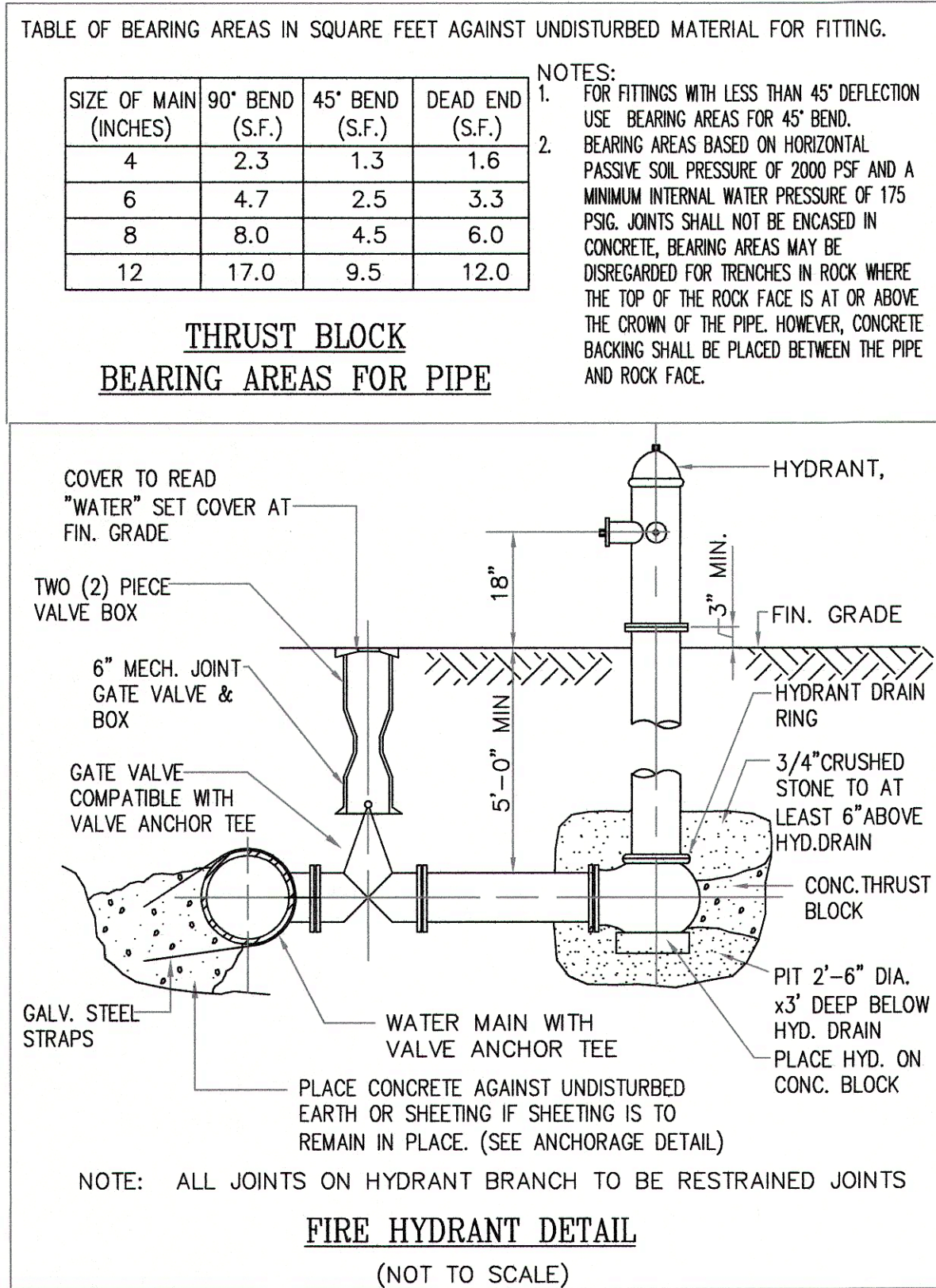
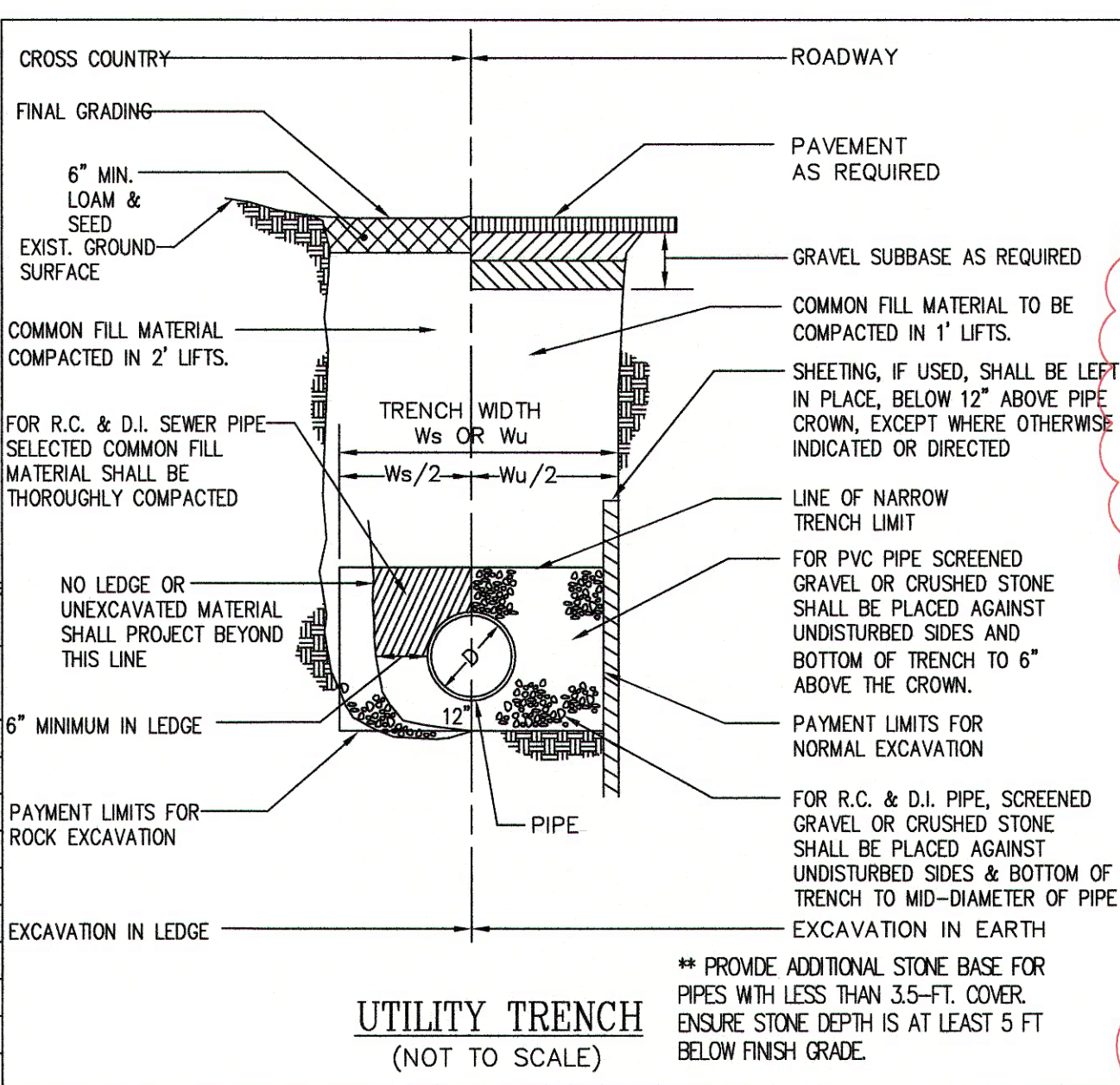
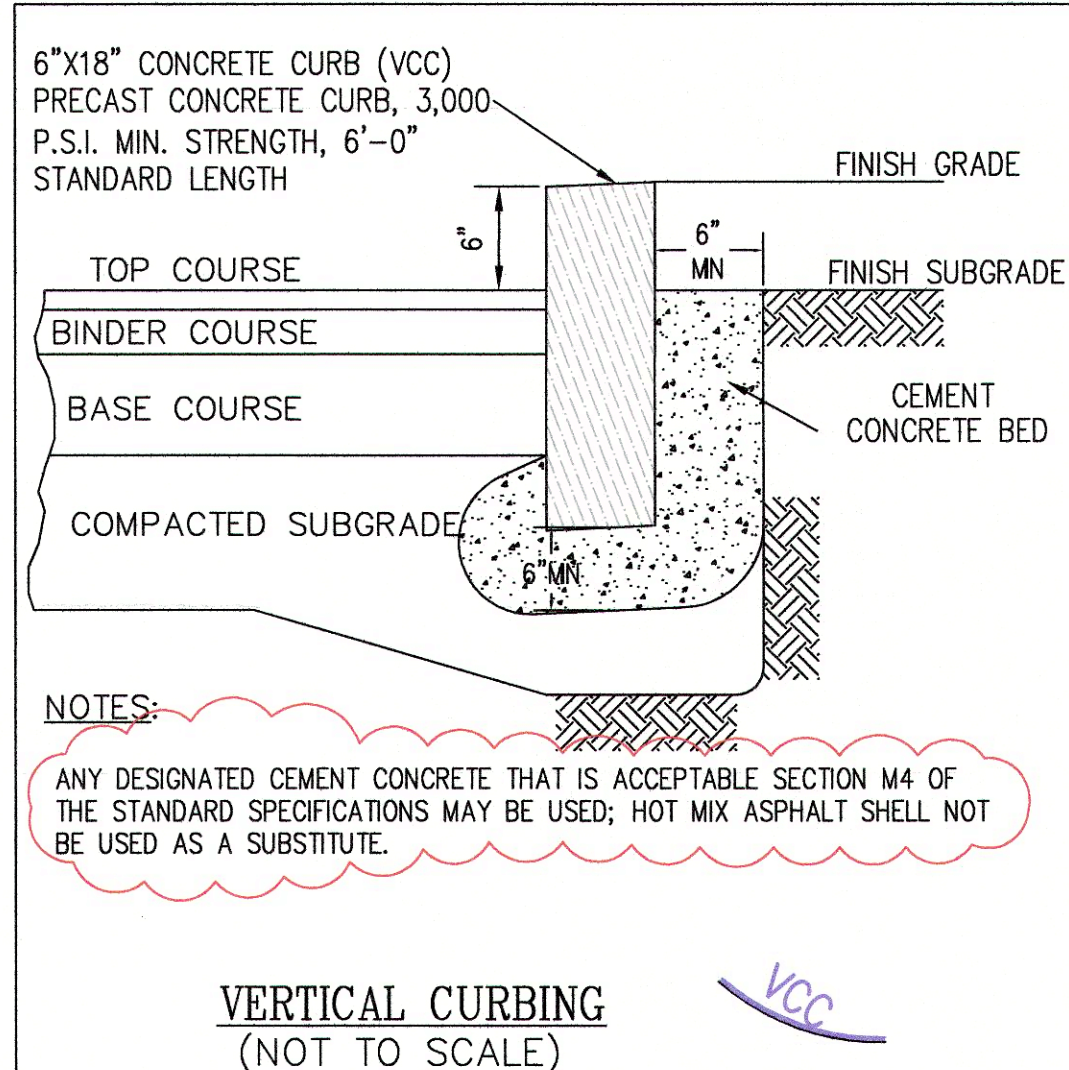
 **SILVA ENGINEERING ASSOCIATES, P.C.**
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BRIDGEWATER, MA. 02324
PHONE (508) 697-3108 FAX (508) 697-3136
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SCALE	DRAWN	DATE	ACAD FILE	SHEET
1"=30'	SRM/RAB	3/5/12	970326R-408-SF14	7



TRENCH WIDTH DATA

TRENCH WIDTH, Ws OR Wu	D	Wu	Ws
12" AND SMALLER	3'-0"	4'-2"	4'-4"
15"	3'-2"	4'-4"	4'-6"
18"	3'-6"	4'-8"	5'-0"
21"	3'-10"	5'-2"	5'-4"
24"	4'-2"	5'-6"	5'-8"
27"	4'-6"	6'-0"	6'-2"
30"	4'-10"	6'-4"	6'-6"
36"	5'-6"	7'-4"	7'-6"
42"	6'-2"	8'-0"	8'-2"
48"	6'-10"	8'-6"	8'-8"



TOWN OF BRIDGEWATER WATER DEPARTMENT REGULATIONS

Tests
Mueller tees, or equal, to have suitable thrust backing, with surface area of, prime importance: this may be concrete or flat stones wedged tightly. Hydrant tees to be flanged branch, to flanged gate, on run out.

Gates
Mueller gates, or equal, to be open left, to meet A.W.W.A. specifications, and to be set on flat stone to support weight. A gate on each branch of a tee or cross will be required, unless otherwise specified at the time of approval of the plan. A gate at the end of the line will be required unless extension of the line, at a future date, is not possible.

Gate boxes not to rest on gate bunnets. In line gates every 1,000 feet.

Pipe
All pipe to be J. M. Blue Brute, Clow Super Main 900 P.V.C., C-900 P.V.C. or ductile iron, to meet Water Department specifications, and to be no less than 8" in size, unless otherwise specified. Pipe to be laid on earth mound, tamped and back-filled, according to manufacturer's specifications.

Hydrants
Mueller, (Bridgewater Specifications), or Metrolpation (Bridgewater Specifications), with bury depth compatible to the area of installation. Hydrant to be "back washed" and "based" with suitable materials, (cement or flat stones). Hydrant locations to be determined at time of the plan approval. Hydrant behind sidewalk on property line. Hydrants to be 500 feet apart.

Service Connections
Corporations and curb stops to be compression fittings. Mueller Hayes or equal, (open left), C.C. thread - 1" or equal to be approved by the Water Department.

Service connections will be tapped with Smith-Blair service saddles, or equal. Size 1" X 8" or equal to be approved by the Water Department. All connections will be at a 45-degree rise to allow for gooseneck.

All Duplex dwellings will be required to have a separate service for each unit tapped directly from the main.

All service lines to be 1" Polyethylene, A.W.W.A. C-901, 200 P.S.I.

All service lines will, at all times, be inspected by the Water Department Inspector, at the owner's expense, before the water is accepted by the Department.

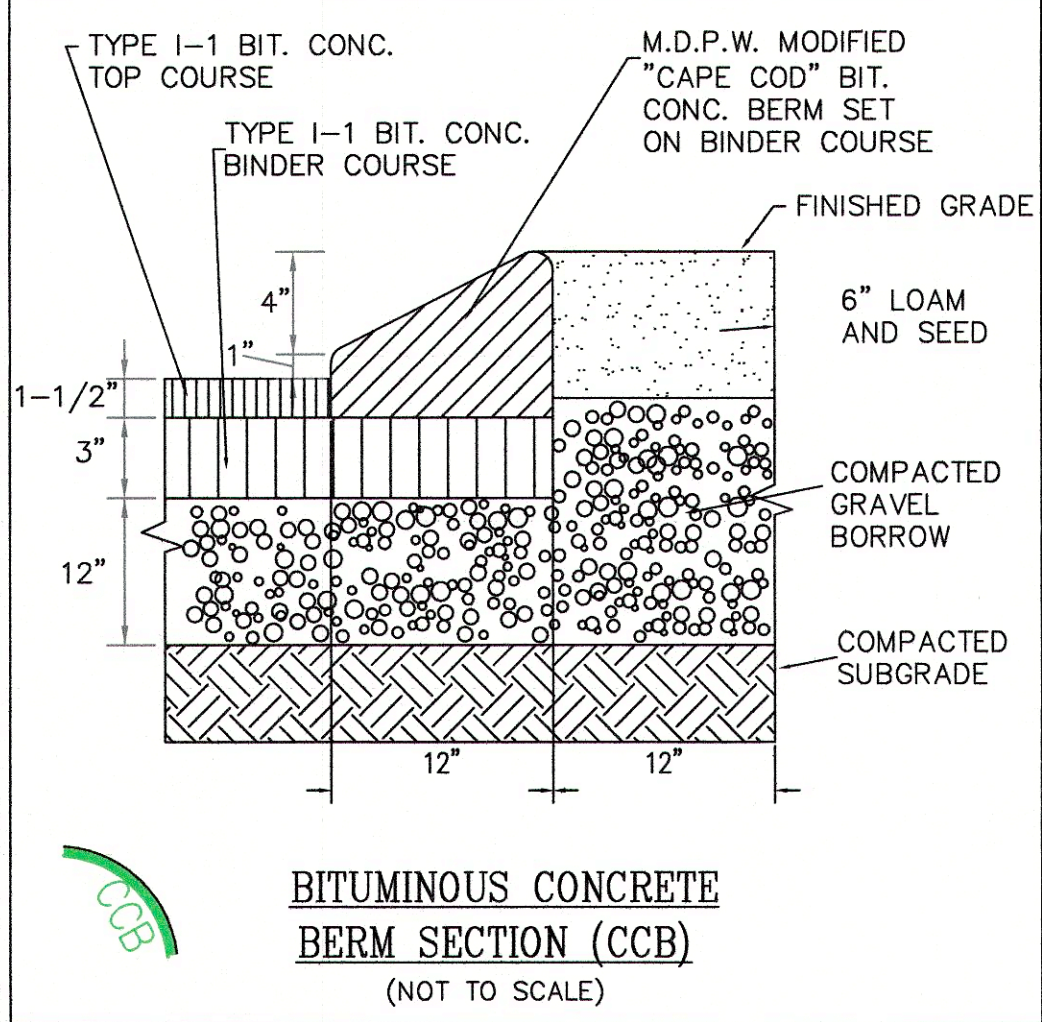
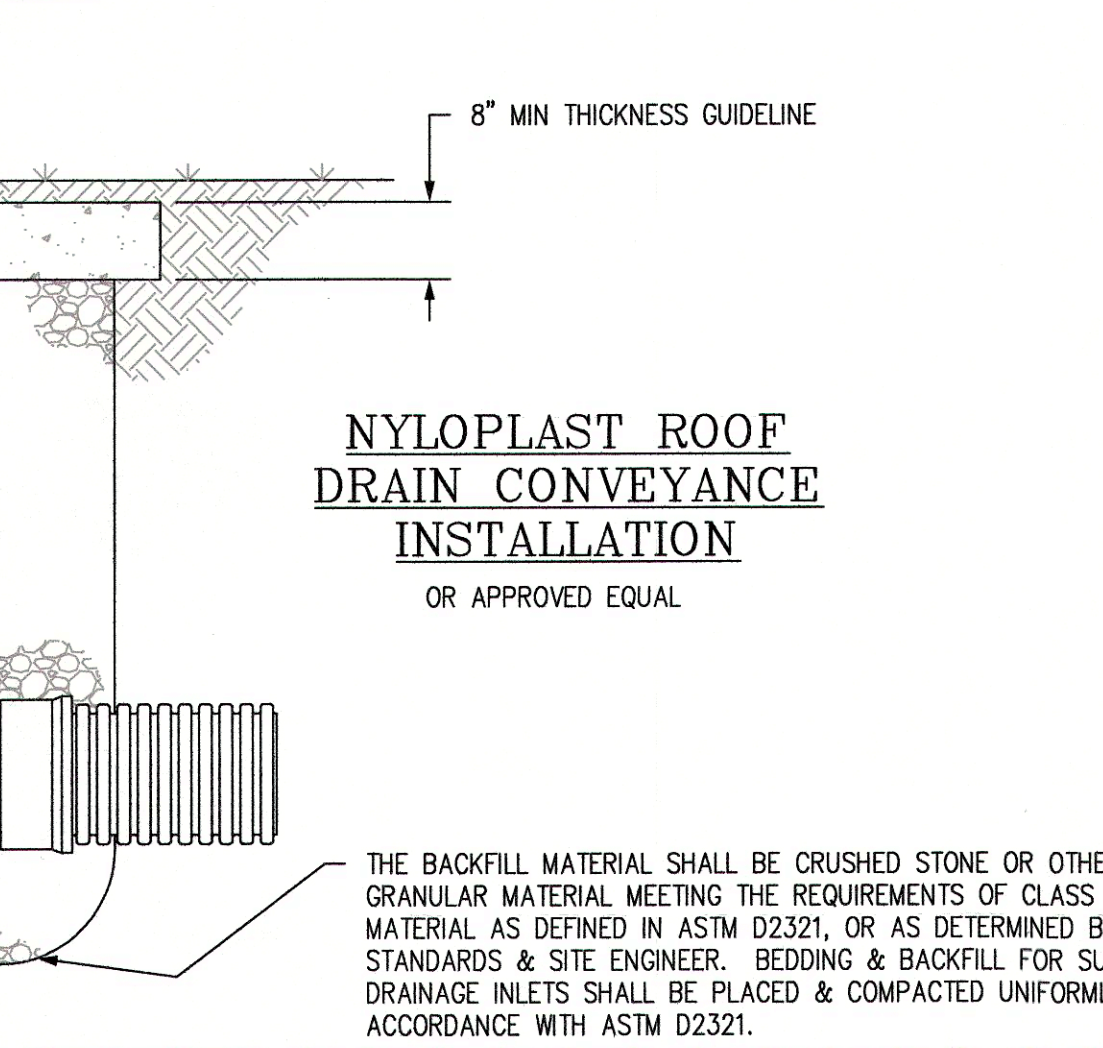
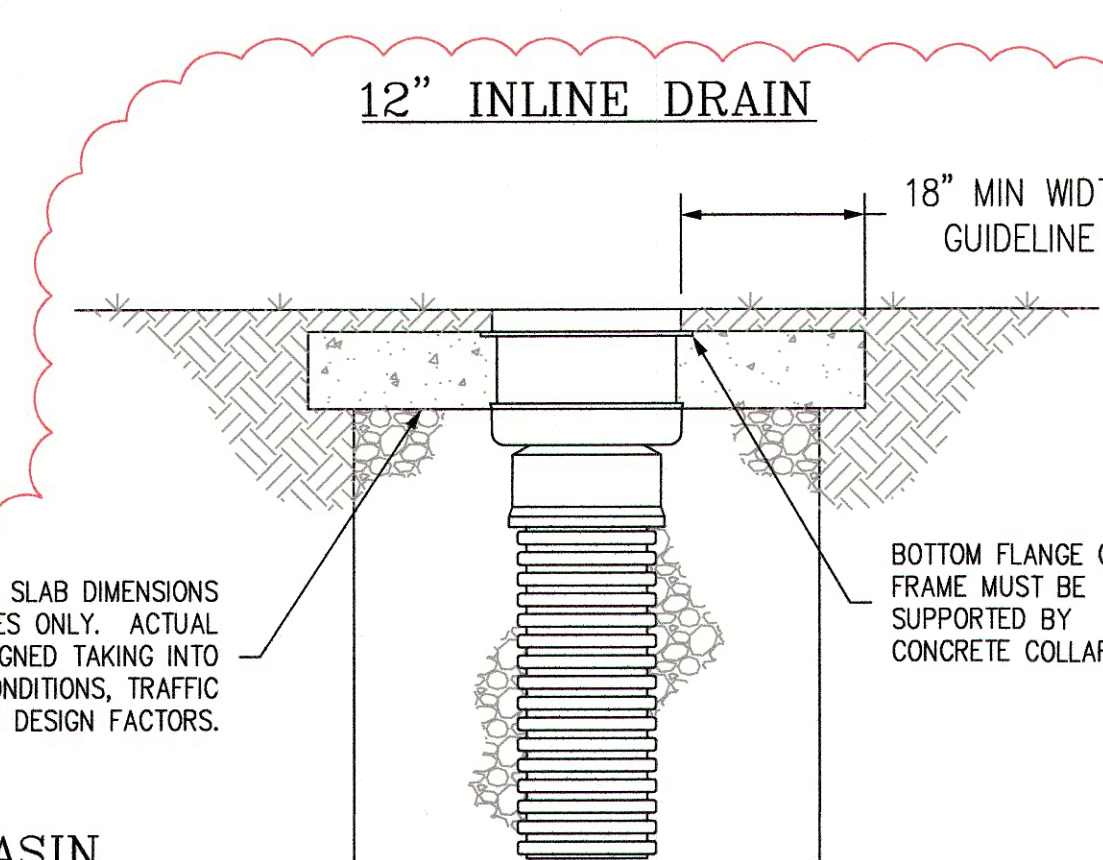
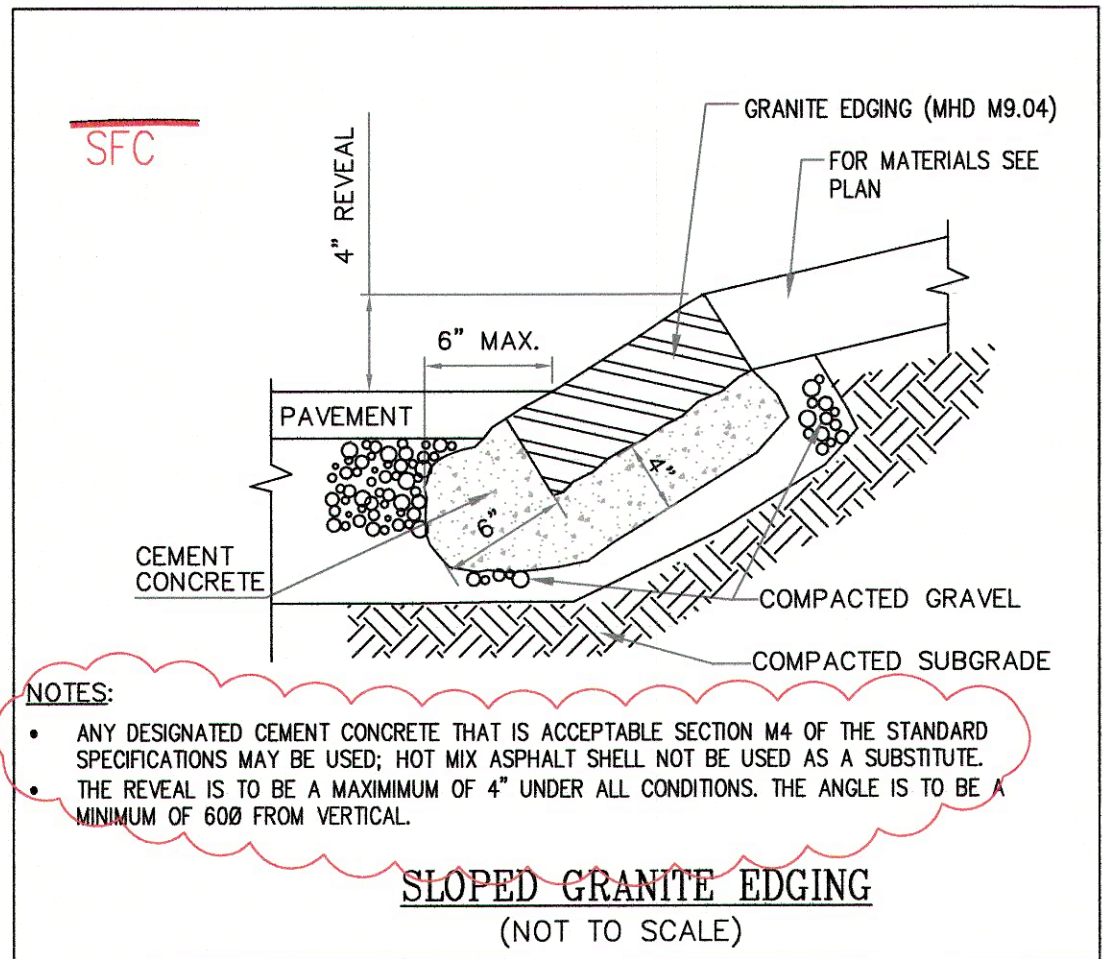
Curb Boxes
All curb boxes to be Erie pattern, with rod, of comparative length 4' to 5' bury.

Inspections
No water installation will be without a full-time inspector as approved by the Board of Water & Sewer Commissioners, and paid for by the contractor.

Testing
All bacteria testing will be conducted by the Inspector or in his presence. No water will be turned on or excepted before a written report is received from the inspector and stated that all requirements are met. A certified Sanitarian, reporting on Chlorine Bacteria test and that the water is free of harmful bacteria. A Pressure Test also has to be conducted (150 lbs for 1/2 hour, then drop to line pressure and brought back to 150 lbs. And hold for 1/2 hour).

Corporation
A 1" corporation to be installed on first length of 8" pipe for chlorine induction.

A 1" corporation and 1" curb cock, with a service saddle, to be installed on last length for chlorine blow-off.



REVISIONS

DATE	BY	DESCRIPTION
9/17/12	RAB	ADDRESS COMMENTS
9/27/12	RAB	ADDRESS COMMENTS
10/23/12	RAB	ADDRESS COMMENTS
2/28/13	RAB	REDUCE BUILDING AND PAVEMENT IMPACT
3/15/13	RAB	ADDRESS REVIEW COMMENTS
4/15/13	RAB	ADDITIONAL WAIVER REQUEST
5/30/13	RAB	ADDITIONAL DETAIL SHEET 14
10/30/13	RAB	ADDRESS DEP GRADING; FEMA FLOOD PLAIN
11/26/13	RAB	PRICING/BID SET
3/14/14	RAB	PERMIT SET

'THE RESIDENCES AT LAKESHORE' CONSTRUCTION DETAILS

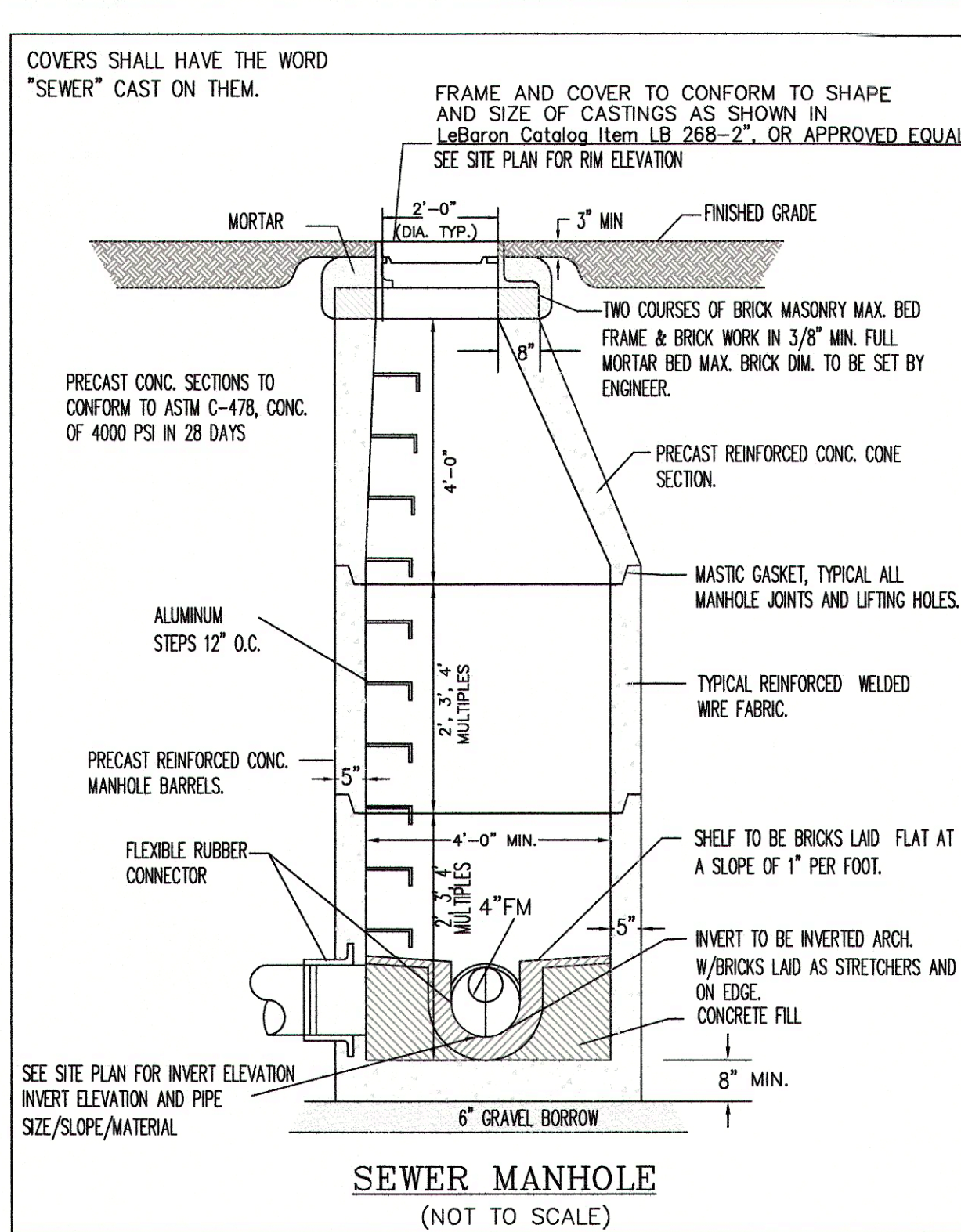
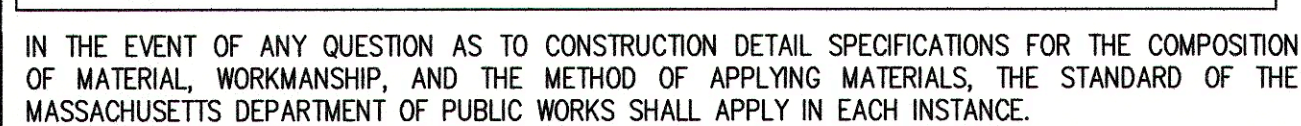
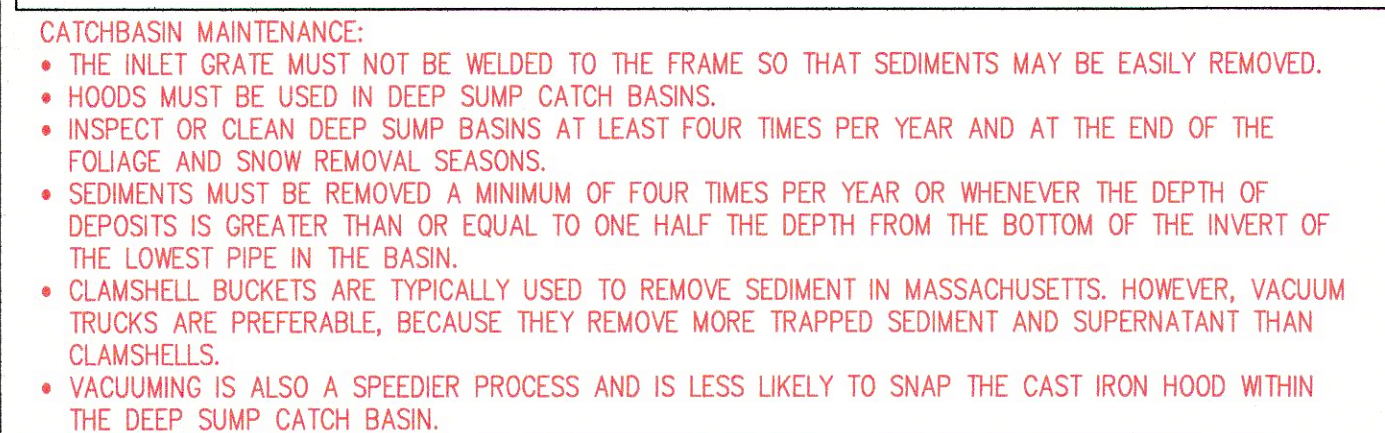
'PERMIT SET 3-14-2014'

SITE:
ASSESSOR'S MAP 95, LOT 1 & MAP 96, LOT 13
OFF PLEASANT STREET (ROUTE 104)
BRIDGEWATER, MASSACHUSETTS

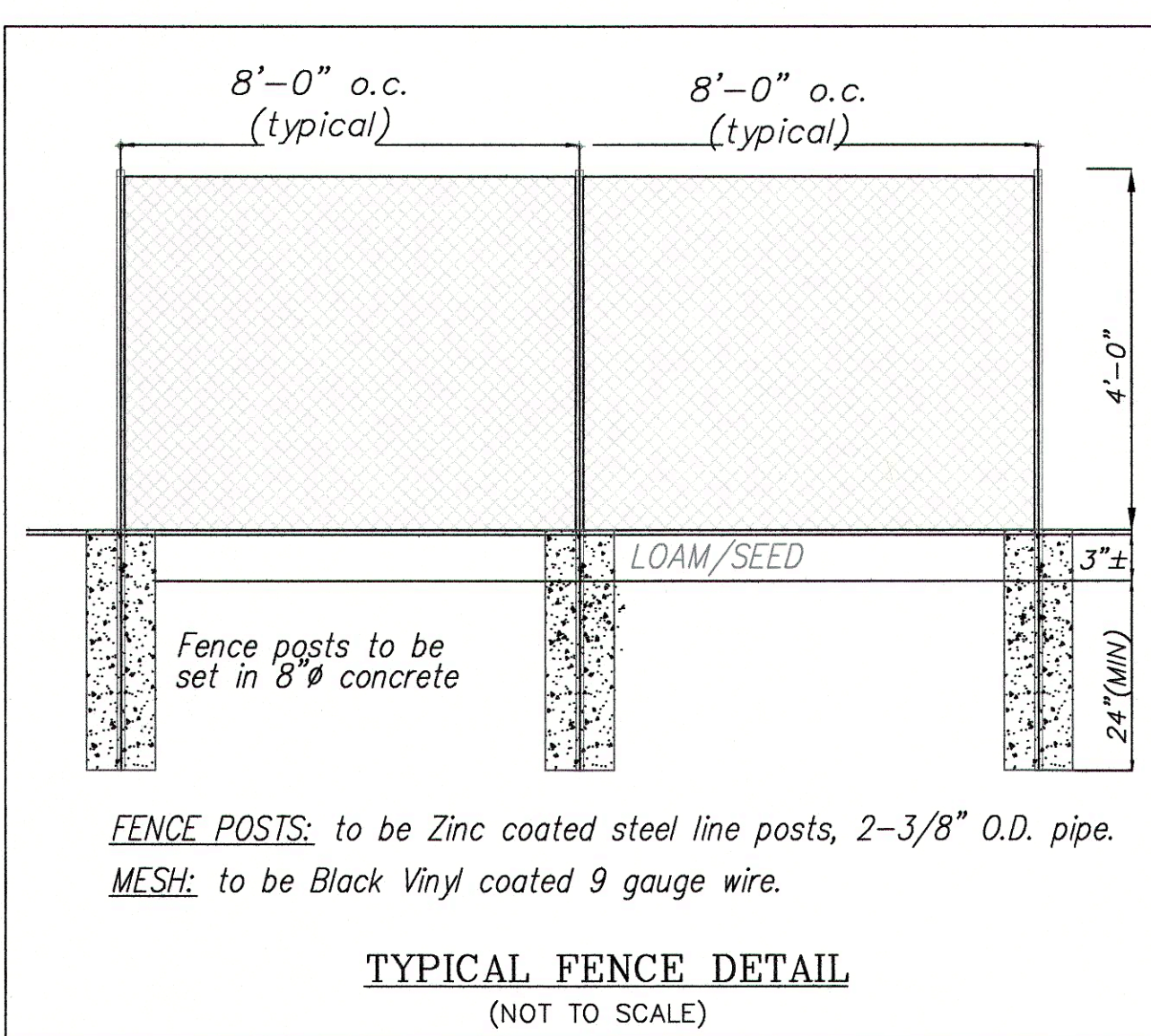
PREPARED FOR:
CLAREMONT BRIDGEWATER II, LLC

SILVA ENGINEERING ASSOCIATES, P.C.
CIVIL ENGINEERS, LAND SURVEYORS & ENVIRONMENTAL CONSULTANTS
1615 BEDFORD STREET
BRIDGEWATER, MA. 02324
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SCALE	DRAWN	DATE	ACAD FILE	SHEET
NONE	SRM/RAB	3/5/12	97032DR-40B-SP12	8



IN THE EVENT OF ANY QUESTION AS TO CONSTRUCTION DETAIL SPECIFICATIONS FOR THE COMPOSITION OF MATERIAL, WORKMANSHIP, AND THE METHOD OF APPLYING MATERIALS, THE STANDARD OF THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS SHALL APPLY IN EACH INSTANCE.



MANHOLES AND CATCHBASINS:

MATERIALS CONTAINED HEREIN SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (MASS HIGHWAY - 1995 EDITION). MANHOLE FRAMES AND COVERS SHALL CONFORM TO SECTION N 8.03.0 OF THE SPECIFICATIONS. MANHOLE FRAMES SHALL ALSO CONFORM TO TYPE A AS SHOWN ON PLAT NO. 202.6.0 OF THE SPECIFICATIONS AND SHALL PROVIDE A CLEAR OPENING OF 24 INCHES. CATCH BASIN FRAMES SHALL HAVE A MINIMUM WEIGHT OF 195 POUNDS. MANHOLE COVERS SHOULD HAVE A MINIMUM WEIGHT OF 200 POUNDS. COVERS SHALL HAVE THE WORD "DRAIN" CAST ON THEM. CATCH BASIN FRAMES SHALL CONFORM TO PLAT NO. 201.6.0 OF THE SPECIFICATIONS. THEY SHALL PROVIDE FOR A CLEAR OPENING OF 22 INCHES SQUARE. CATCH BASIN FRAMES SHALL HAVE A MINIMUM WEIGHT OF 265 POUNDS FOR THE 3 FANGE TYPE AND 295 POUNDS FOR THE 4 FANGE TYPE. CATCH BASIN COVERS SHALL BE 2 INCHES BY 2 INCHES AND SHALL BE A MINIMUM OF FIFTY PERCENT OF THE GRATE AREA."

TOWN OF BRIDGEWATER WATER DEPARTMENT REGULATIONS

TEES, MUELLER TEES, OR EQUAL, TO HAVE SUITABLE THRUST BACKING, WITH SURFACE AREA OF PRIME IMPORTANCE: THIS MAY BE CONCRETE OR FLAT STONES WEDGED TIGHTLY. HYDRANT TEES TO BE FLANGED BARN, TO FLANGED GATE, ON RUN OUT.

GATES, MUELLER GATES, OR EQUAL, TO BE OPEN LEFT, TO MEET A.W.W.A. SPECIFICATIONS, AND TO BE SET ON FLAT STONES TO SUPPORT WEIGHT. A GATE ON EACH BRANCH OF A TEE OR CROSS WILL BE REQUIRED, UNLESS OTHERWISE SPECIFIED AT THE TIME OF APPROVAL OF THE PLAN. A GATE AT THE END OF THE LINE WILL BE REQUIRED UNLESS EXTENSION OF THE LINE, AT A FUTURE DATE, IS NOT POSSIBLE. GATE BOXES NOT TO REST ON GATE BONNETS. IN LINE GATES EVERY 1,000 FEET.

PIPE, TO BE OF CAST IRON, OR DUCTILE IRON, OR STEEL, OR P.V.C. OR DUCTILE IRON, TO MEET WATER DEPARTMENT SPECIFICATIONS, AND TO BE NO LESS THAN 8" IN SIZE, UNLESS OTHERWISE SPECIFIED. PIPE TO BE LAID ON EARTH MOUND, TAMPED AND BACK-FILLED, ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

HYDRANTS: MUELLER, (BRIDGEWATER SPECIFICATIONS), OR, METROPOLITAN (BRIDGEWATER SPECIFICATIONS) WITH BURY DEPTH COMPATIBLE TO THE AREA OF INSTALLATION. HYDRANT TO BE "BACK WASHED" AND "BASED" WITH SUITABLE MATERIALS, (CEMENT OR FLAT STONES). HYDRANT LOCATIONS TO BE DETERMINED AT TIME OF THE PLAN APPROVAL. HYDRANT BEHIND SIDEWALK ON PROPERTY LINE. HYDRANTS TO BE 500 FEET APART.

FEEL "P" ART.

SERVICE CONNECTIONS: CORPORATIONS AND CURB STOPS TO BE COMPRESSION FITTINGS. MUELLER HAYES OR EQUAL. (OPEN LEFT). C.C. THREAD - 1" OR EQUAL TO BE APPROVED BY THE WATER DEPARTMENT.

SERVICE CONNECTIONS WILL BE TAPPED WITH SMITH-BLAIR SERVICE SADDLES, OR EQUAL. SIZE 1" X 8" OR EQUAL TO BE APPROVED BY THE WATER DEPARTMENT.

ALL CONNECTIONS WILL BE AT A 45-DEGREE RISE TO ALLOW FOR GOOSENECK.

ALL DUPLEX DWELLINGS WILL BE REQUIRED TO HAVE A SEPARATE SERVICE FOR EACH UNIT TAPPED DIRECTLY FROM THE MAIN.

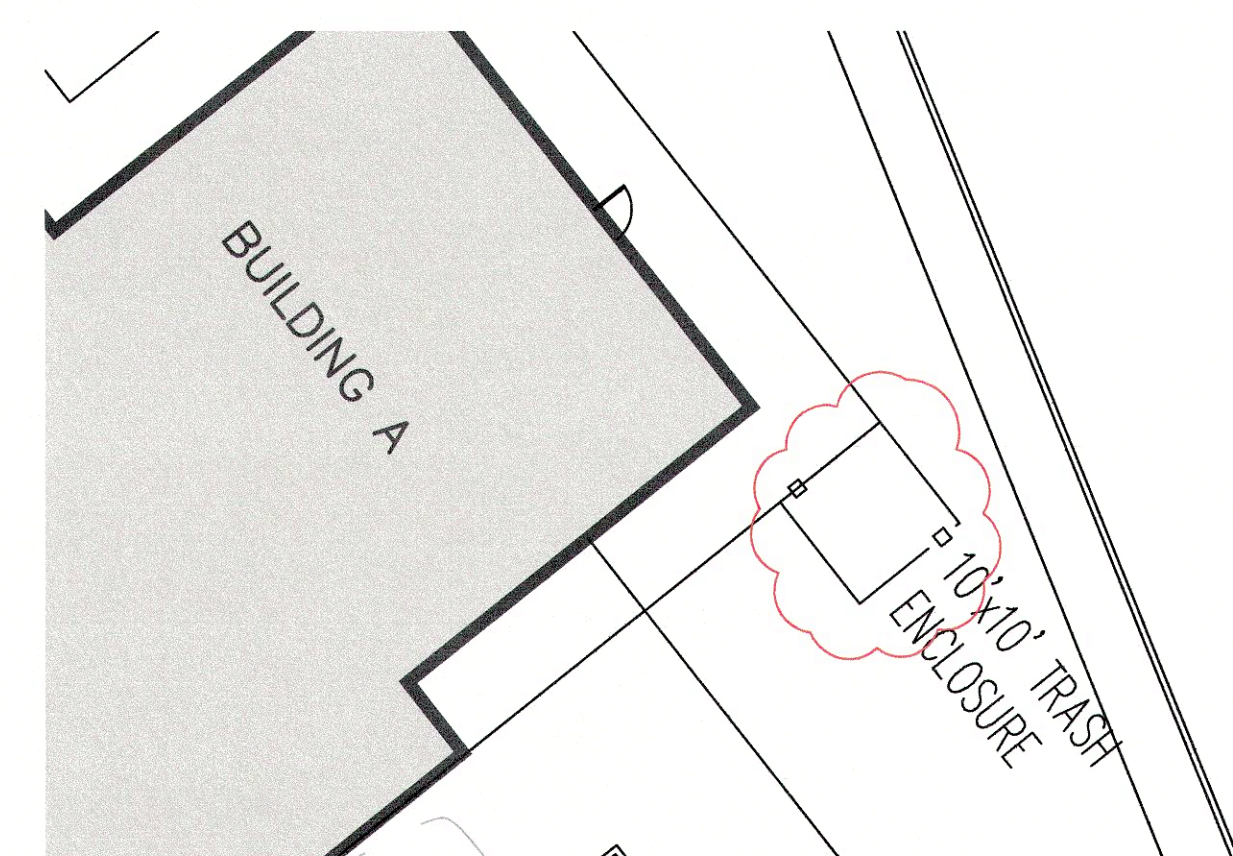
ALL SERVICE LINES TO BE 1" POLYETHYLENE, A.W.W.A. C-901, 200 P.S.I.
ALL SERVICE LINES WILL, AT ALL TIMES, BE INSPECTED BY THE WATER DEPARTMENT INSPECTOR, AT THE
OWNER'S EXPENSE, BEFORE THE WATER IS ACCEPTED BY THE DEPARTMENT.
CURB BOXES: ALL CURB BOXES TO BE ERIE PATTERN, WITH ROD, OF COMPARATIVE LENGTH 4' TO 5'
BURY

INSPECTIONS: NO WATER INSTALLATION WILL BE WITHOUT A FULL-TIME INSPECTOR AS APPROVED BY THE BOARD OF WATER & SEWER COMMISSIONERS, AND PAID FOR BY THE CONTRACTOR.

TESTING: ALL BACTERIA TESTING WILL BE CONDUCTED BY THE INSPECTOR OR IN HIS PRESENCE. NO WATER WILL BE TURNED ON OR EXPECTED BEFORE A WRITTEN REPORT IS RECEIVED FROM THE INSPECTOR. AND STATED THAT ALL REQUIREMENTS ARE MET. A CERTIFIED SANITARIAN, REPORTING ON CHLORINE BACTERIA TEST AND THAT THE WATER IS FREE OF HARMFUL BACTERIA. A PRESSURE TEST ALSO HAS TO BE CONDUCTED (150 LBS FOR ½ HOUR, THEN DROP TO LINE PRESSURE AND BROUGHT BACK TO 150 LBS. AND HOLD FOR ½ HOUR).

CORPORATION: A 1" CORPORATION TO BE INSTALLED ON FIRST LENGTH OF 8" PIPE FOR CHLORINE INDUCTION.

A 1" CORPORATION AND 1" CURB COCK, WITH A SERVICE SADDLE, TO BE INSTALLED ON LAST LENGTH FOR CHLORINE BLOW-OFF.



- DURING CONSTRUCTION SHALL BE INSPECTED WEEKLY AND REMOVAL OF SEDIMENT AND TRASH SHALL BE COMPLETED WEEKLY OR WHEN SEDIMENT EXCEEDS 6-INCHES.
- AFTER CONSTRUCTION SEDIMENT TRAP SHALL BE INSPECTED MONTHLY AND REMOVAL OF SEDIMENT AND TRASH SHALL BE COMPLETED FOUR (4) TIMES PER YEAR (MINIMUM) OR WHEN SEDIMENT EXCEEDS 12-INCHES.
- DISPOSAL OF SEDIMENT AND MUST BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS.

NOTES:

1. Concrete: 5,000 P.S.I. Minnum Strength @ 28 Days
2. Steel Reinforcement: ASTM A-615, Grade 60.
3. Cover to Steel-1" Minimum
4. Tanks are Designed to Meet ASTM C858 and ACI 318 with AASHTO HS-20 Loading
5. Earth Cover-0 to 5 Feet Max.
6. Construction Joint-Sealed with 1" Dia. Butyl Rubber or Equivalent

TANK DIMENSIONS				
TANK SIZE (GAL)	1,500	2,500	3,000	8,000
LENGTH	11'-0"	11'-0"	15'-0"	17'-0"
WIDTH	6'-0"	6'-0"	7'-0"	10'-0"
HEIGHT	6'-0"	8'-8"	7'-0"	10'-0"
SECTION	3'-0"	3'-0"	4'-4"	5'-0"
LIQUID LEVEL	4'-0"	6'-8"	5'-0"	6'-6"
INLET INVERT	4'-9"	7'-5"	5'-9"	8'-4"
TOP	0'-6"	0'-6"	0'-6"	0'-10"
BOTTOM	0'-6"	0'-6"	0'-6"	0'-8"

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3/14/14	RAB	PERMIT SET

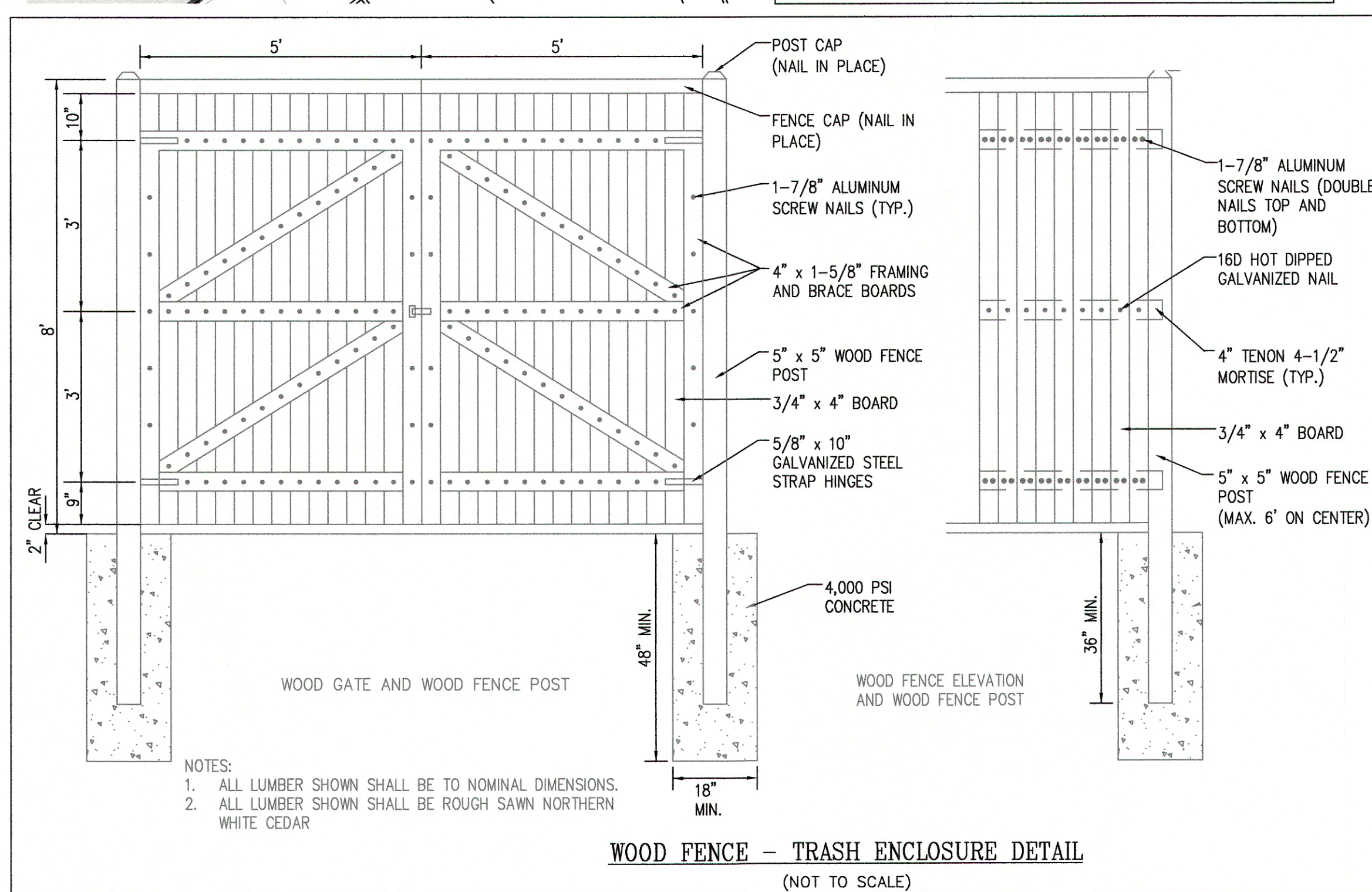
'PERMIT SET 3-14-2014'

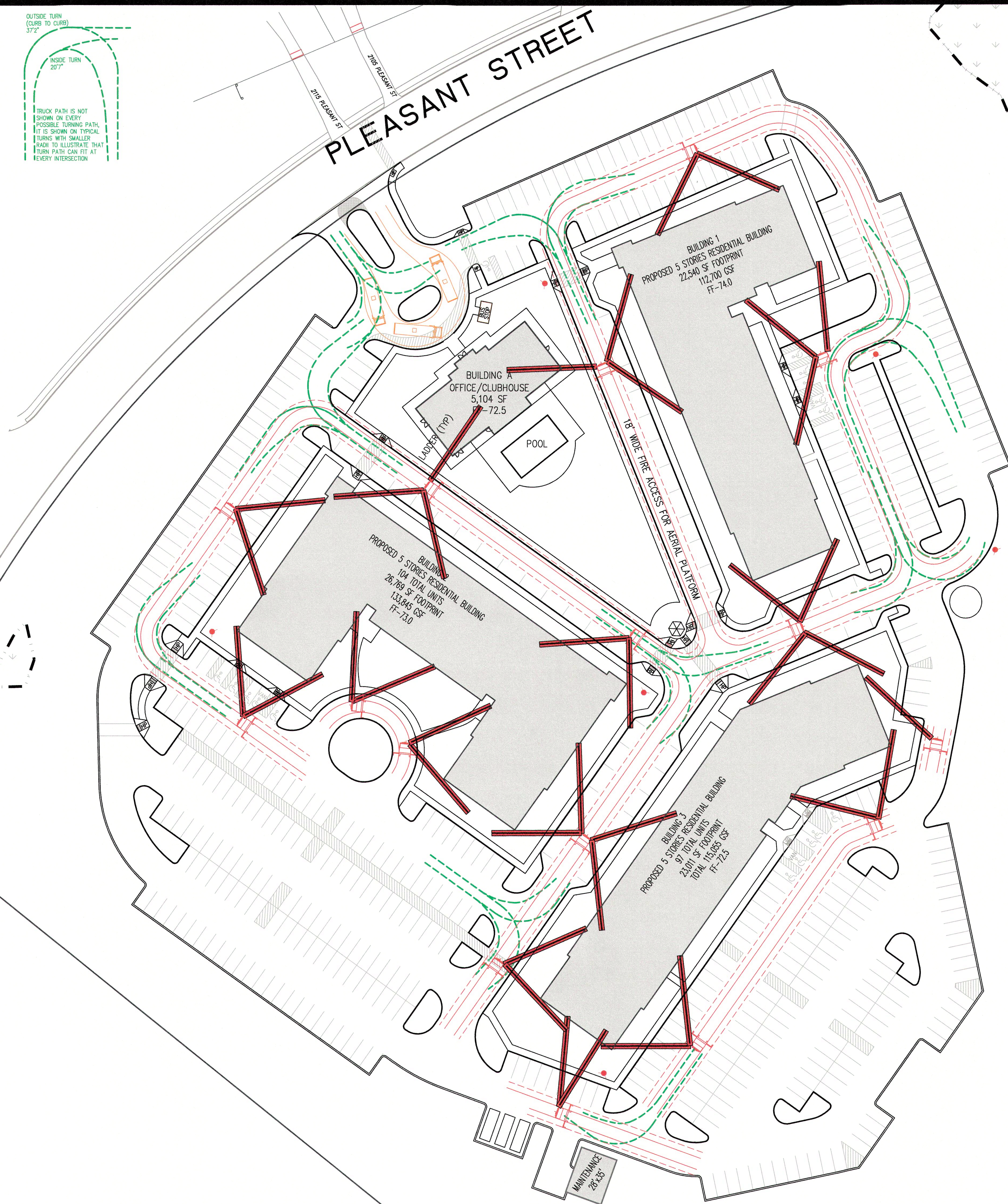
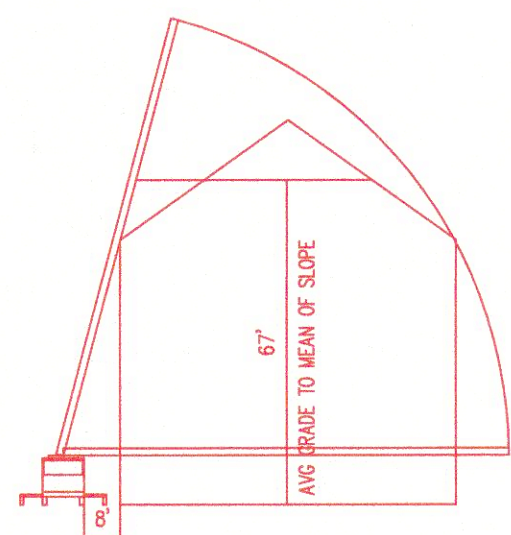
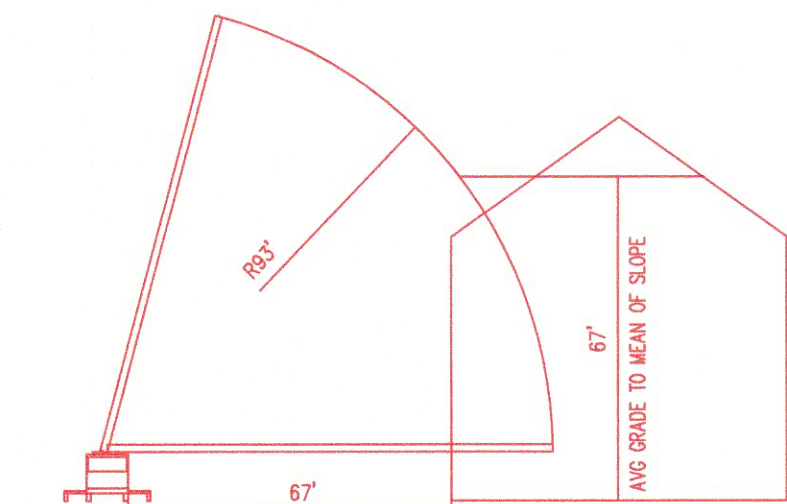
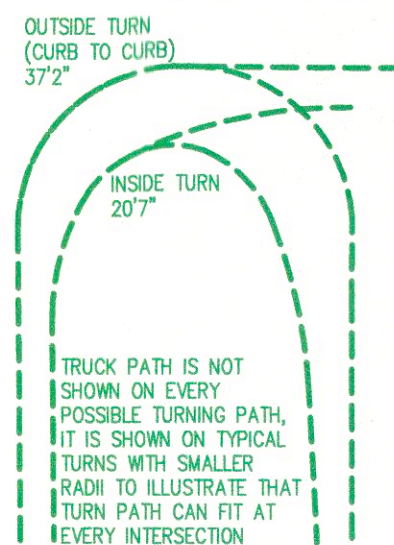
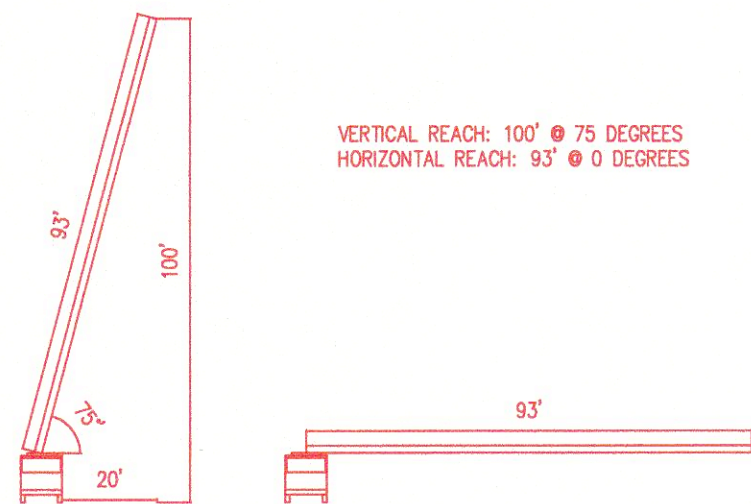
SITE:
ASSESSOR'S MAP 95, LOT 1 & MAP 96, LOT 13
OFF PLEASANT STREET (ROUTE 104)
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
CLAREMONT BRIDGEWATER II, LLC

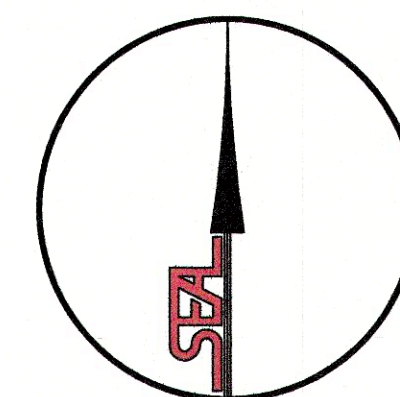


SCALE	DRAWN	DATE	ACAD FILE	SHEET
NONE	SRM/RAB	3/5/12	97032EIR-40B-SP12	9





DATE 3/14/2014



REVISIONS		
DATE	BY	DESCRIPTION
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3/14/14	RAB	PERMIT SET

'THE RESIDENCES AT LAKESHORE'
FIRE TRUCK TURNING RADIUS
& TOWER PATH
'PERMIT SET 3-14-2014'

SITE:
ASSESSOR'S MAP 95, LOT 1 & MAP 96, LOT 13
OFF PLEASANT STREET (ROUTE 104)
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
CLAREMONT BRIDGEWATER II, LLC

SEA SILVA
ENGINEERING
ASSOCIATES, P.C.
CIVIL ENGINEERS, LAND SURVEYORS
& ENVIRONMENTAL CONSULTANTS
1615 BEDFORD STREET
BRIDGEWATER, MA. 02324
PHONE (508) 697-3100 FAX (508) 697-3136
www.silvaeng.com

SCALE	DRAWN	DATE	ACAD FILE	SHEET
1"=40'	SRM/RAB	7/9/12	97032ER-40B-SP12	10

DATE: SEPTEMBER 14, 2012
TEST CONDUCTED BY: LAWRENCE P. SILVA P.E.

SEA-	52-52"	C1	REACTIVE COARSE SAND	2.5Y5/3	LOOSE
	59.2±				
	52-96"	C2	SANDY LOAM	2.5Y6/3	FRABLE
	55.5±				
	96-120"+	C3	SILT LOAM	2.5Y6/1	FRABLE, FIRM
	53.5±				
MOTTLING: 78"		WEEPING: 120"		STANDING: NONE	
ESHQW: 57.0					

BASIN THEN IT IS JUST THERE AS A GUIDE TO DETERMINE THE EXTENT OF EXCAVATION.

LIMIT OF REMOVE AND REPLACE: EXCAVATE UNSUITABLE MATERIAL FROM HORIZONS INDICATED AND FILL WITH CLEAN GRANULAR SAND, FREE FROM ORGANIC MATTER AND DELETERIOUS MATERIALS. IF SOIL CONDITIONS ARE FOUND TO DIFFER FROM SOIL LOGS, CALL DESIGN ENGINEER.

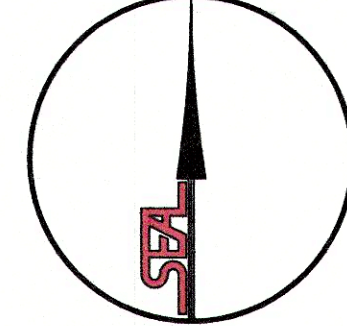
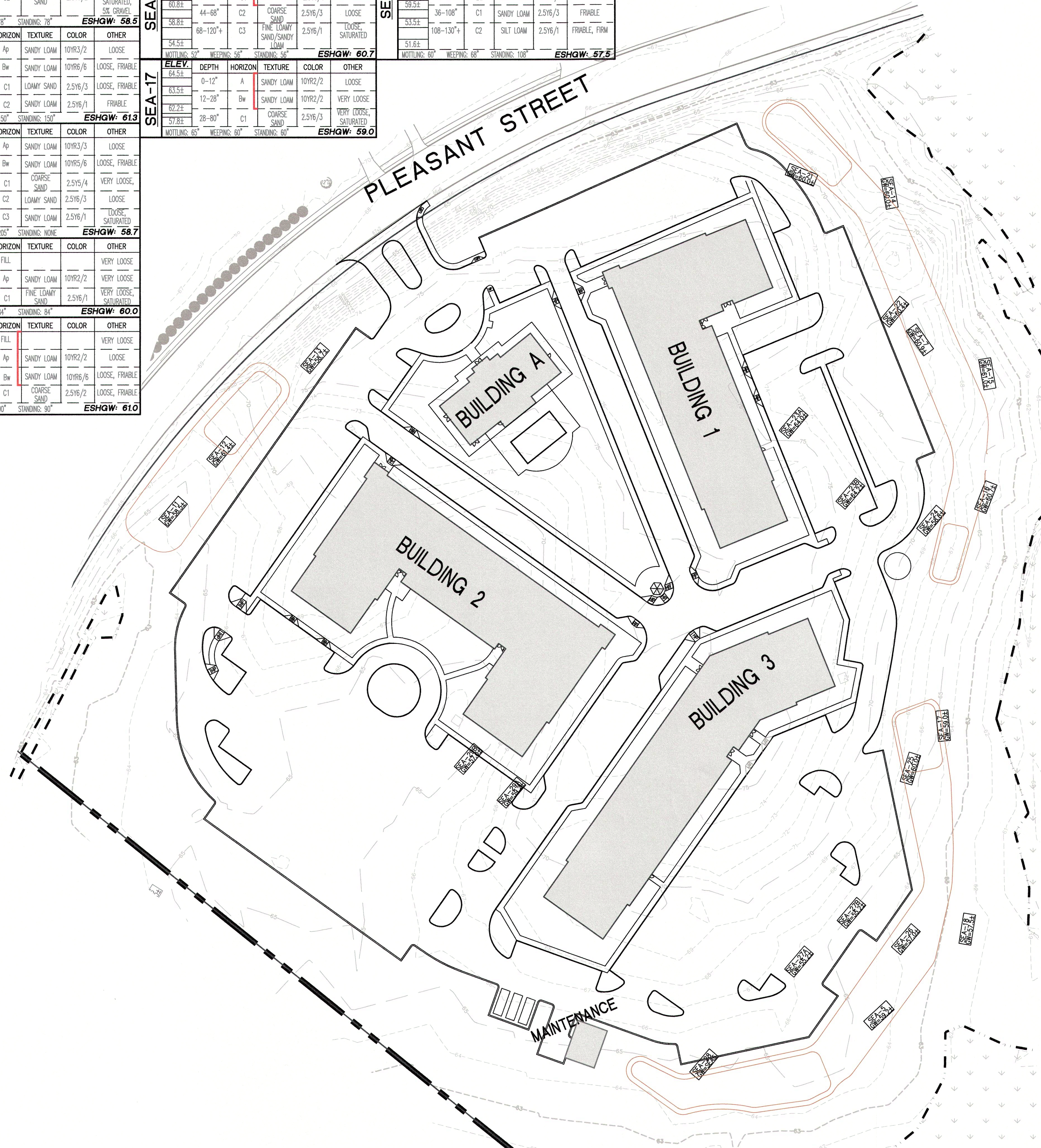
NOTE: SOIL FROM TEST PIT LOCATIONS WITHIN THE SYSTEM FOOTPRINT TO BE REMOVED AND REPLACED TO FULL DEPTH WITH CLEAN SAND.

THE RED BRACKETS IN THE LOG ADVISE THE LIMITS OF EXCAVATION TO THE MATERIAL DESIRED (SAND TO COARSE SAND). THE OUTLINE ON THE PLAN VIEW ILLUSTRATES THE HORIZONTAL LIMITS OF EXCAVATION (THE ENTIRE BASIN BOTTOM). THIS ALLOWS INFILTRATION THROUGH THE SANDY SOILS IF THE TEST PIT LOCATION IS OUTSIDE THE BASIN THEN IT IS JUST THERE AS A GUIDE TO DETERMINE THE EXTENT OF VERTICAL EXCAVATION.

SEAL	62.5±	90~120"	C1	MEDIUM COARSE SAND	2.5Y5/3	LOOSE
	60.0±	120"+	C2	COARSE SAND/LOAMY SAND	2.5Y5/1	LOOSE, SATURATED
	MOTTLING: 109" WEEPING: 126" STANDING: 126" ESHGW: 60.9					

DATE: DECEMBER 13, 2011
TEST CONDUCTED BY: LAWRENCE P. SILVA P.E.

A hand-drawn diagram of a cell. It features a large, irregular outer boundary representing the cell membrane. Inside, there is a smaller, roughly circular nucleus with a dashed outline. Surrounding the nucleus are several wavy, parallel lines representing the rough endoplasmic reticulum. The drawing is simple and appears to be a student sketch.



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9/17/12	RAB	ADDRESS COMMENTS
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3/14/14	RAB	PERMIT SET

'THE RESIDENCES AT LAKESHORE'
TEST PIT LOCATION PLAN
'PERMIT SET 3-14-2014'

SITE:
ASSESSOR'S MAP 95, LOT 1 & MAP 96, LOT 13
OFF PLEASANT STREET (ROUTE 104)
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
CLAREMONT BRIDGEWATER II, LLC

SEA SILVA
ENGINEERING
ASSOCIATES, P.C.

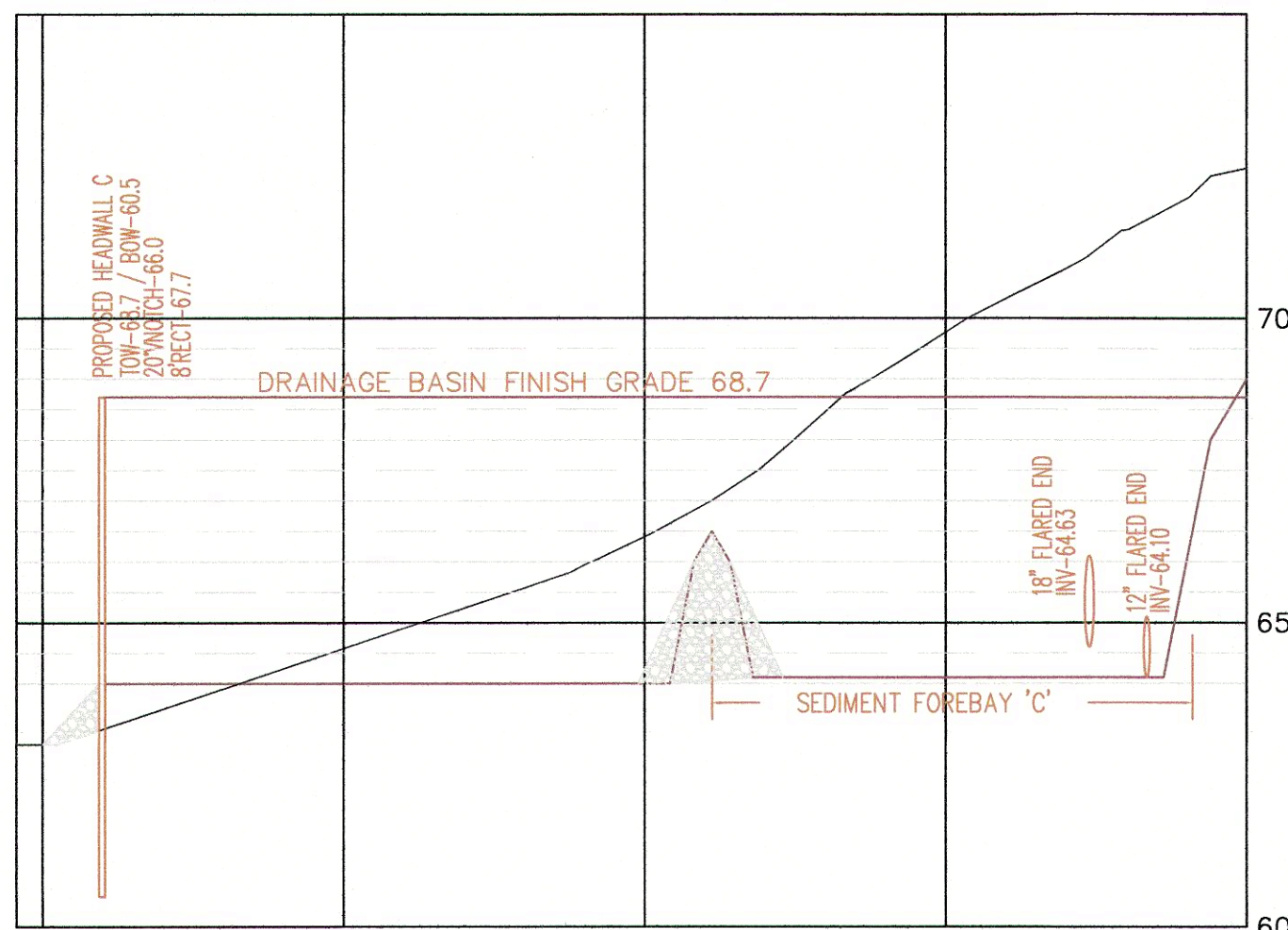
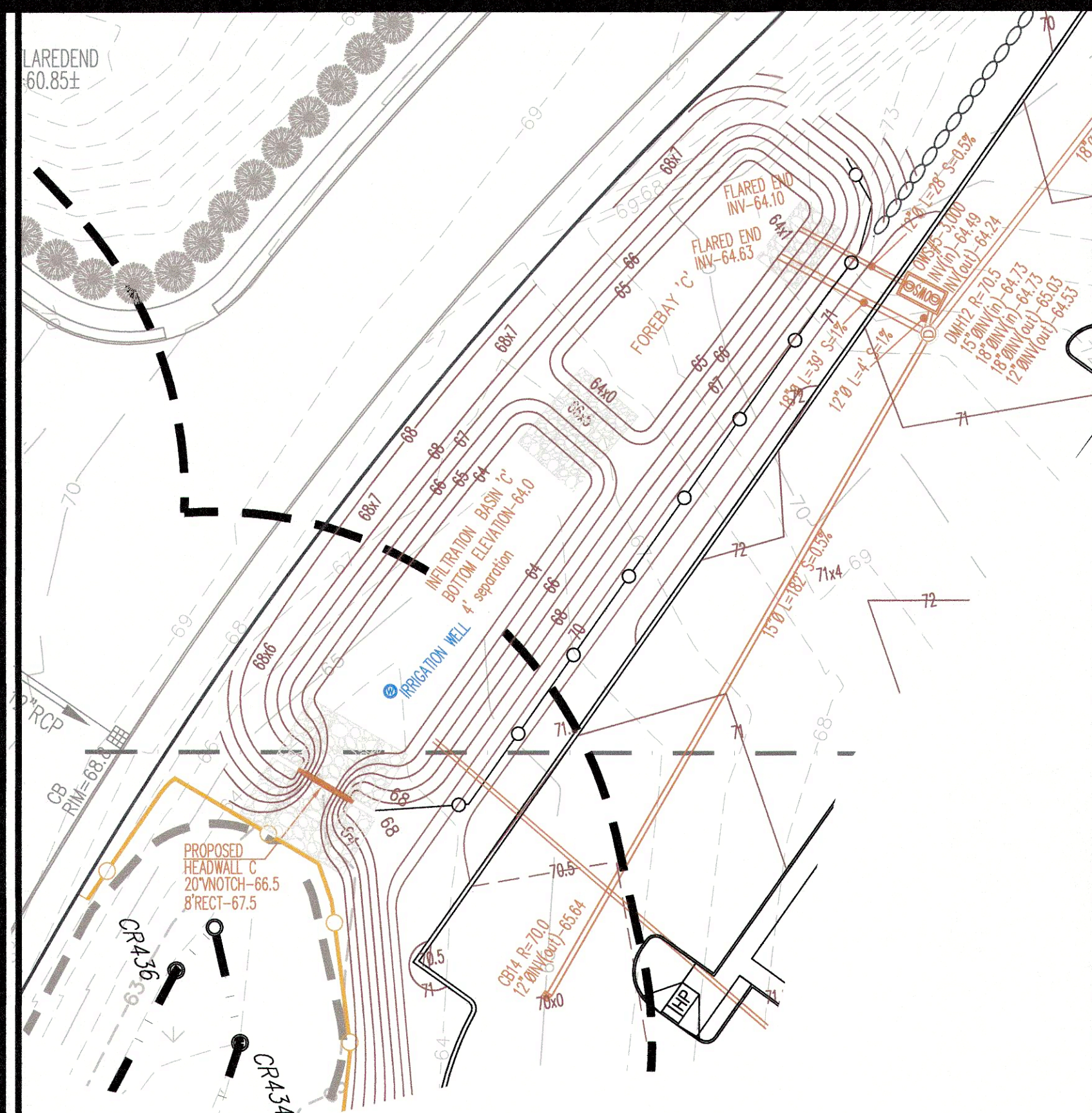
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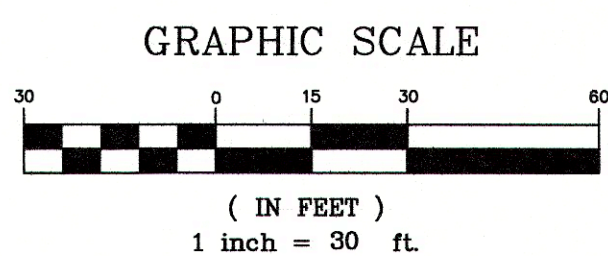
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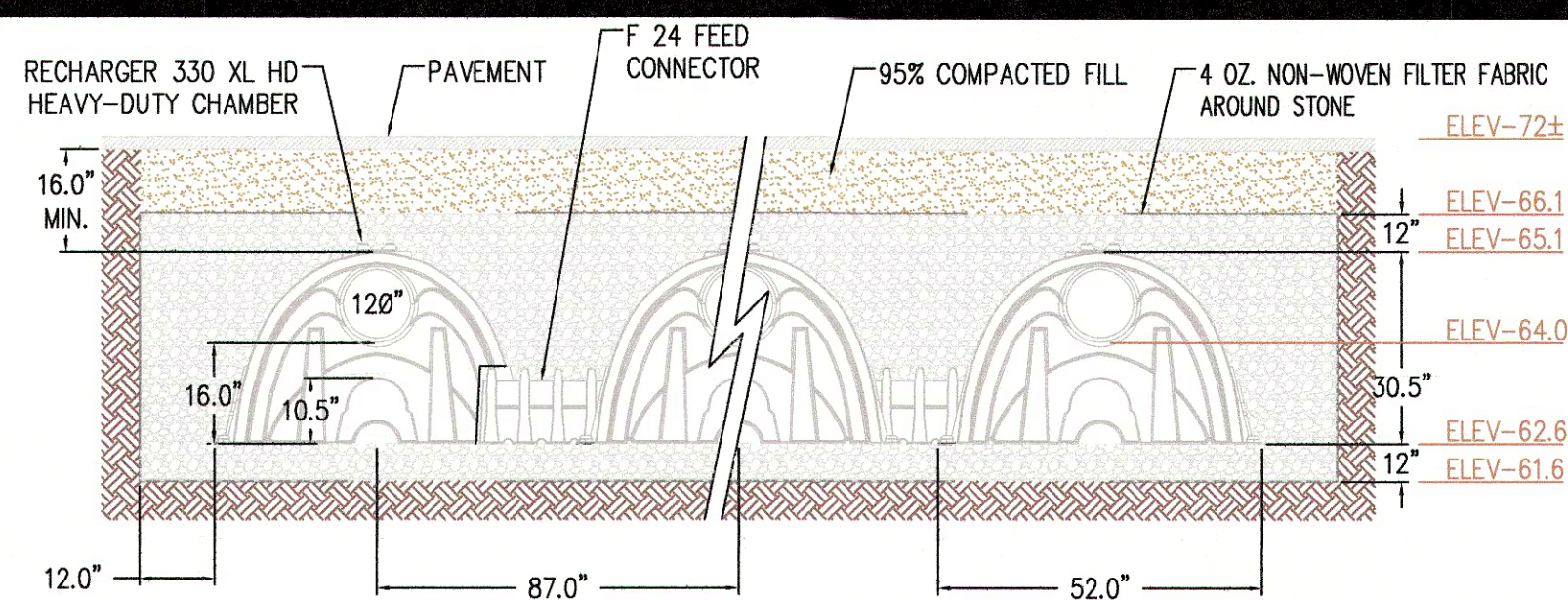
SCALE	DRAWN	DATE	ACAD FILE	SHEET
1"=50'	SRM/RAB	3/5/12	97032EIR-40B-SP12	11



DRAINAGE BASIN 'C'
SCALE: 1" = 30' HORIZONTAL 1" = 3' VERTICAL

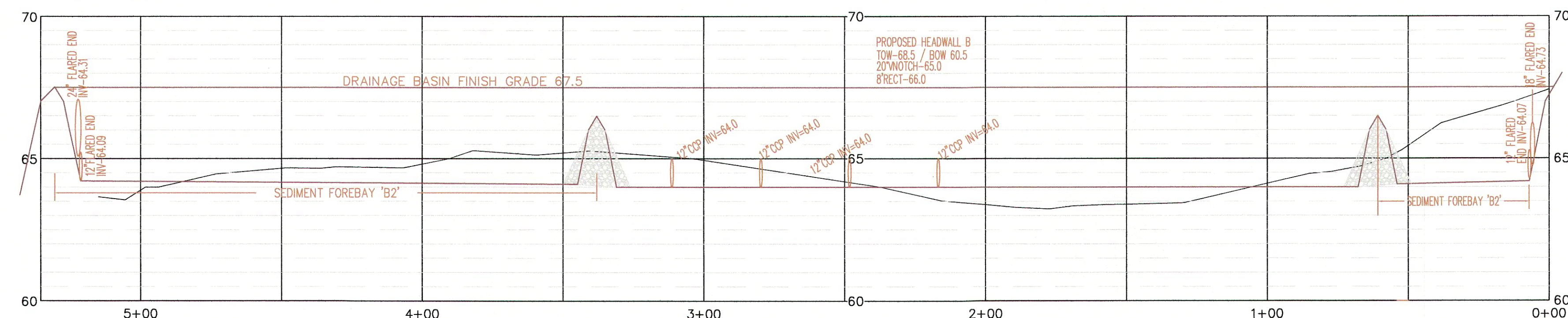
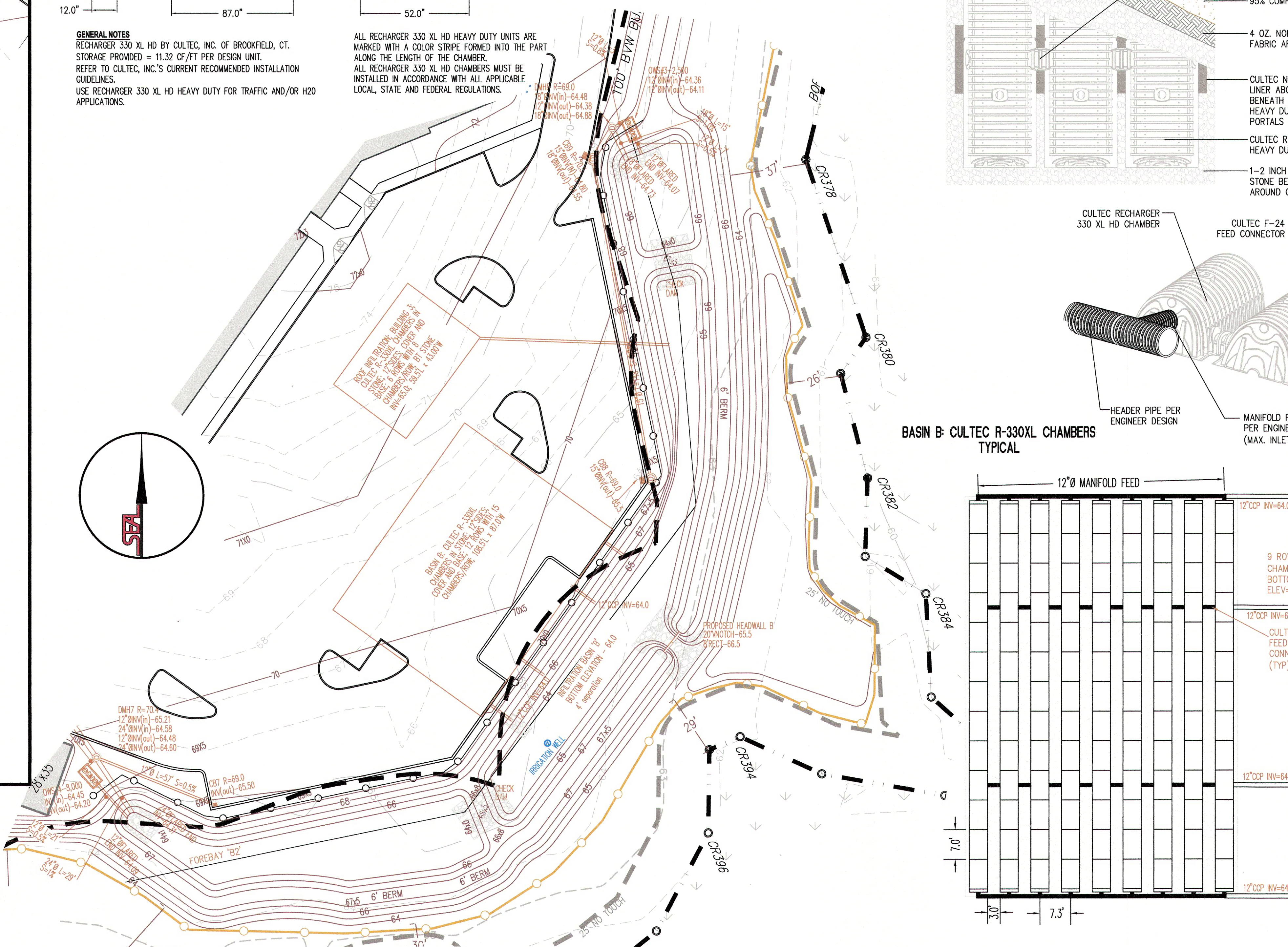
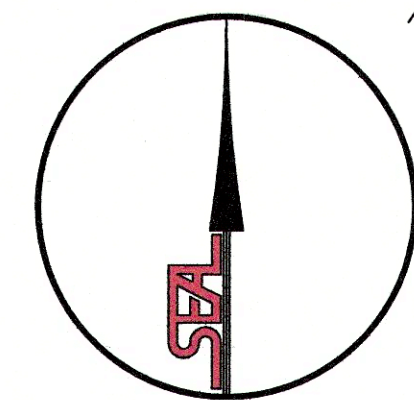


SNOW MAINTENANCE:
REMOVAL AND STORAGE WILL BE IN AREAS ALONG THE EDGE OF THE PAVEMENT WHERE SPACE ALLOWS. THE SNOW STORAGE AREAS DO NOT INCLUDE THE BIOTENTION AREA, PAVED SWALES OR IMPEDE THE FUNCTION OF OTHER DRAINAGE COMPONENTS. THE APPROVED SITE PLAN ILLUSTRATES APPROPRIATE SNOW DISPOSAL AREAS. ANY SNOW EXCEEDING THE STORAGE AREA SHALL BE HAULED OFF SITE TO A PREDETERMINED AND APPROVED LOCATION.

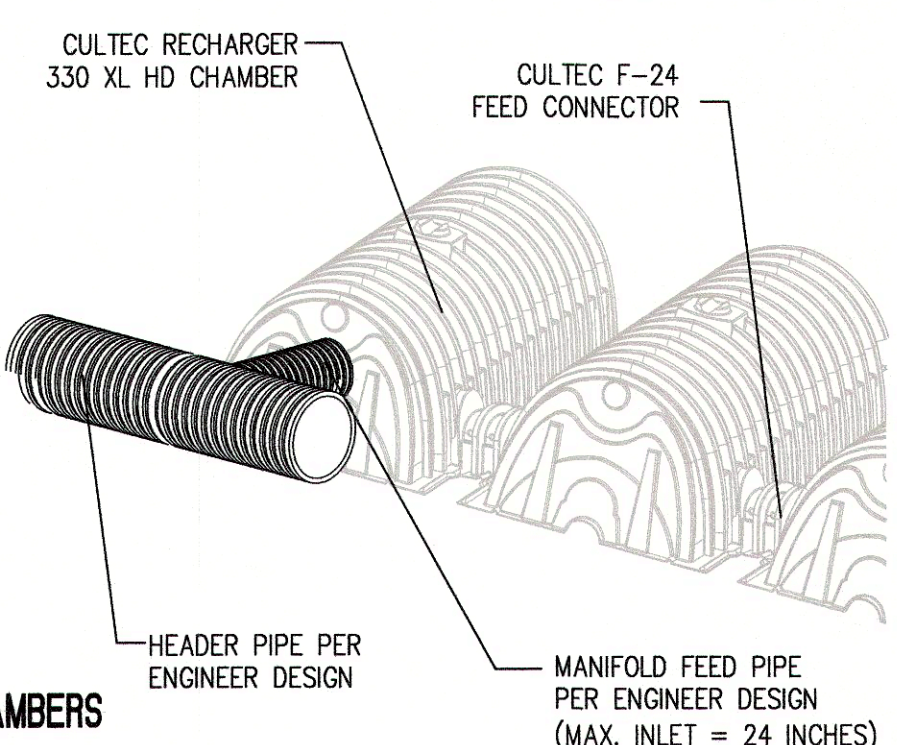
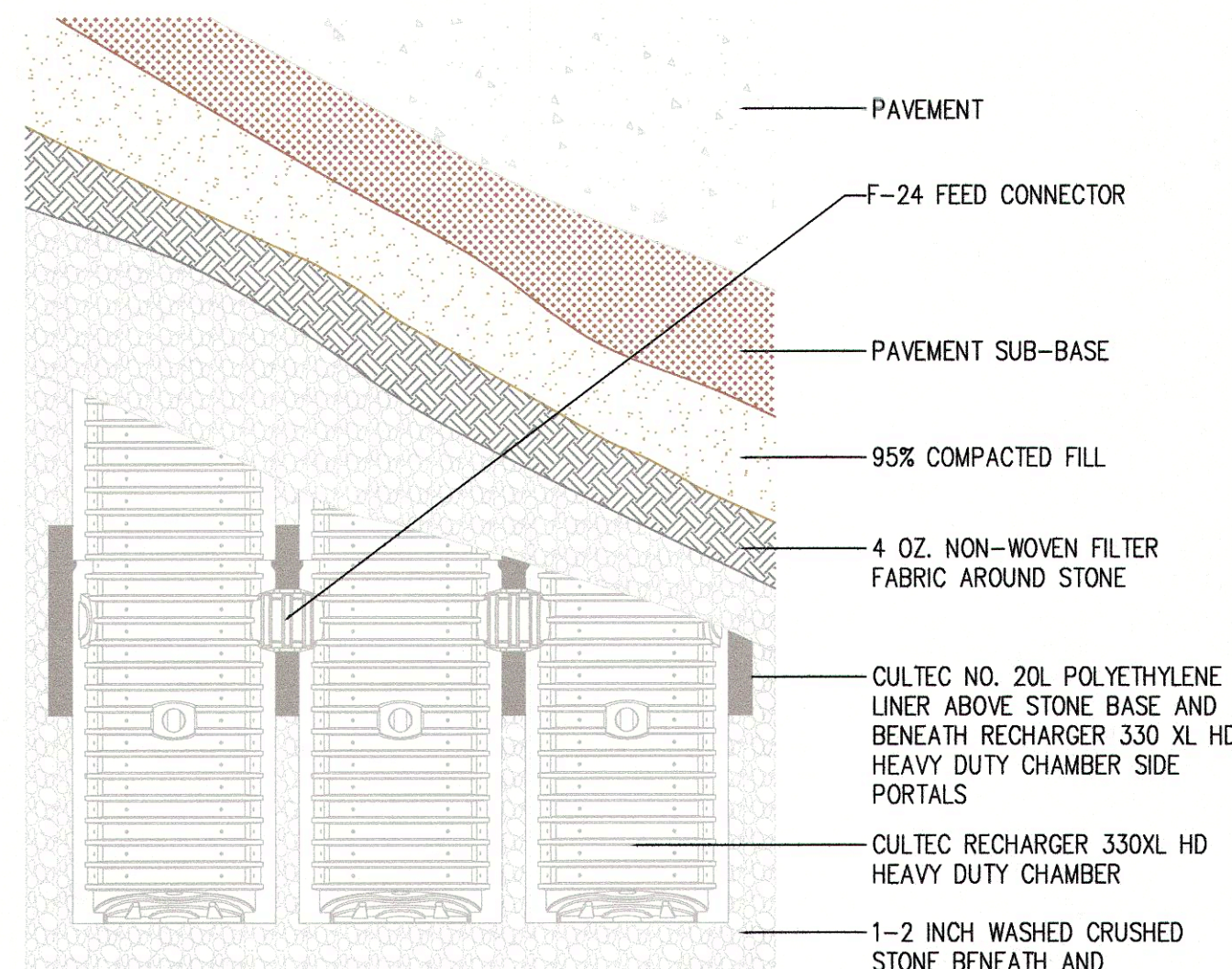


GENERAL NOTES
RECHARGER 330 XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
USE RECHARGER 330 XL HD HEAVY DUTY FOR TRAFFIC AND/OR H2O APPLICATIONS.

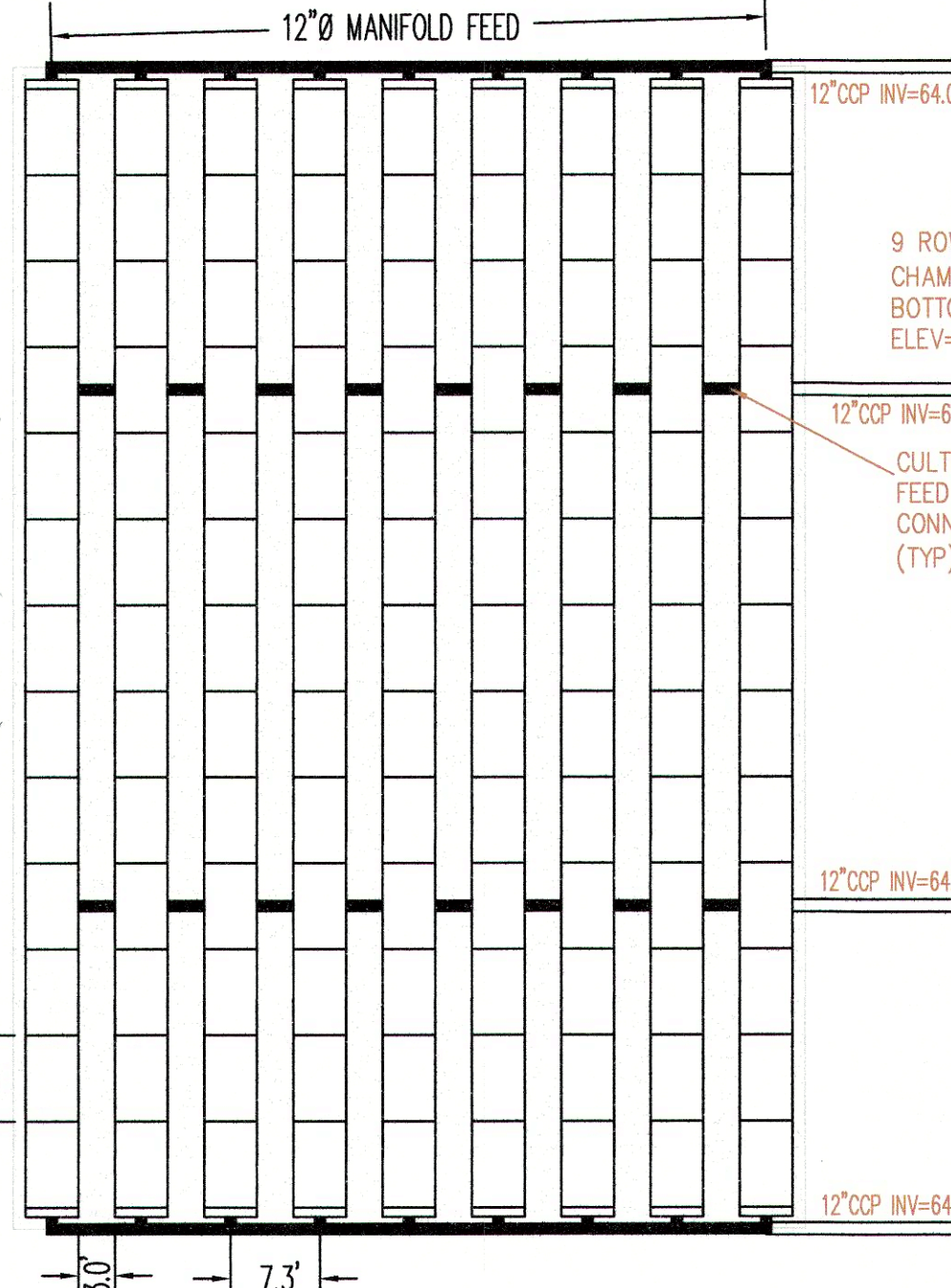
ALL RECHARGER 330 XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
ALL RECHARGER 330 XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.



DRAINAGE BASIN 'B'
SCALE: 1" = 30' HORIZONTAL 1" = 3' VERTICAL



BASIN B: CULTEC R-330XL CHAMBERS TYPICAL



LAWRENCE P. SILVA
P.E. REG. NO. 33381-C
DATE: 3/14/2014

LEGEND

- EDGE OF PAVEMENT
- EXISTING CONTOUR
- PROPOSED GRADE
- WETLAND LINE
- OIL GRIT SEPARATOR
- LIMIT OF WORK
- RIP. RAP.
- CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- SEWER FORCED MAIN
- SEWER GRAVITY MAIN
- IRRIGATION WELL

REVISIONS

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11/26/13	RAB	PRICING/BID SET
3/14/14	RAB	PERMIT SET

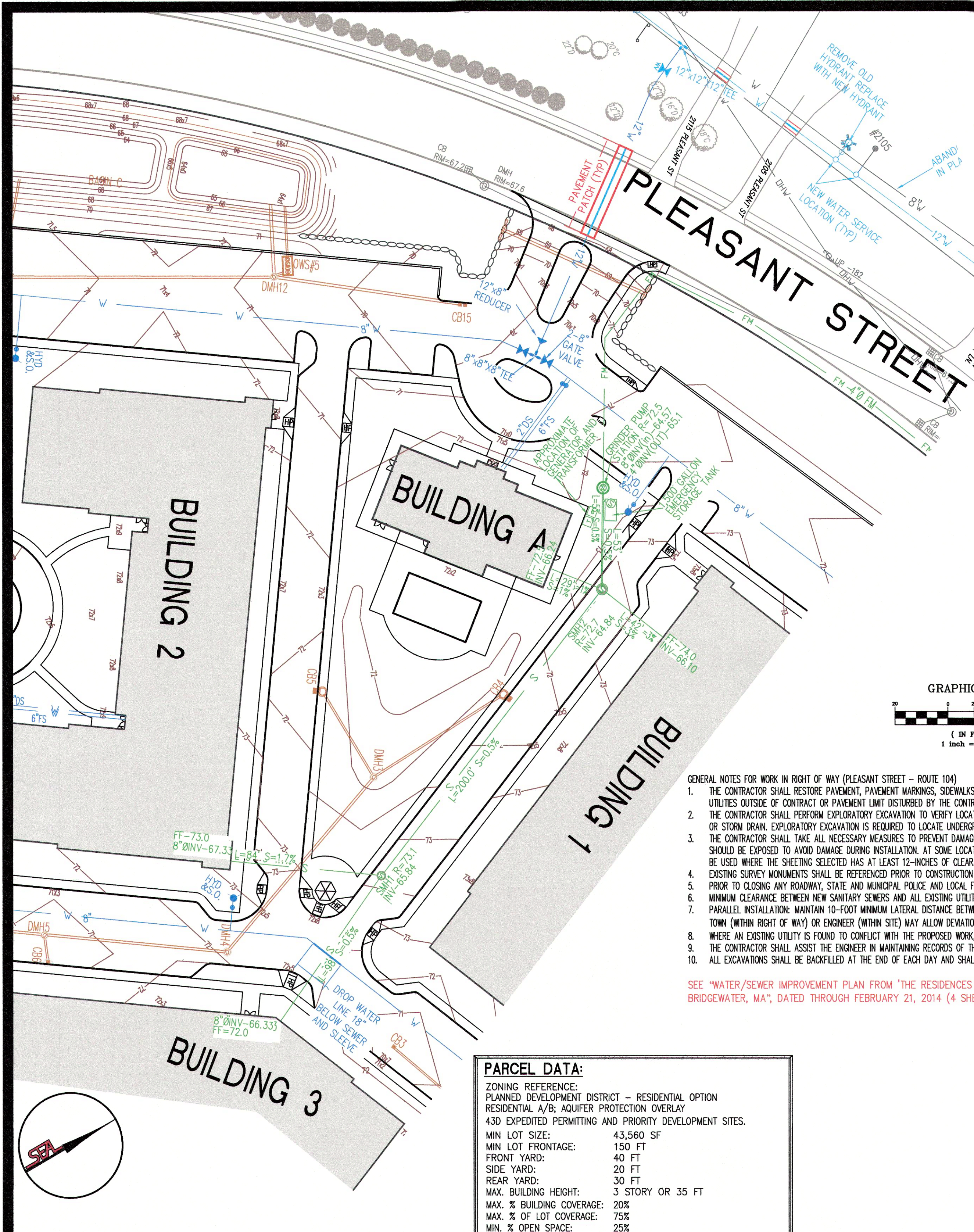
'THE RESIDENCES AT LAKESHORE'
DRAINAGE BASIN PROFILES
'B' AND 'C'
'PERMIT SET 3-14-2014'

SITE:
ASSESSOR'S MAP 95, LOT 1 & MAP 96, LOT 13
OFF PLEASANT STREET (ROUTE 104)
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
CLAREMONT BRIDGEWATER II, LLC

SILVA ENGINEERING ASSOCIATES, P.C.
CIVIL ENGINEERS, LAND SURVEYORS & ENVIRONMENTAL CONSULTANTS
1615 BEDFORD STREET
BRIDGEWATER, MA. 02324
PHONE (508) 697-3100 FAX (508) 697-3136
www.silvaeng.com

SCALE	DRAWN	DATE	ACAD FILE	SHEET
1"=30'	SRM/RAB	3/5/12	970322R-40B-SP12	12



PARCEL DATA:

ZONING REFERENCE:
PLANNED DEVELOPMENT DISTRICT - RESIDENTIAL OPTION
RESIDENTIAL A/B; AQUIFER PROTECTION OVERLAY
43D EXPEDITED PERMITTING AND PRIORITY DEVELOPMENT SITES.

MIN LOT SIZE:	43,560 SF
MIN LOT FRONTAGE:	150 FT
FRONT YARD:	40 FT
SIDE YARD:	20 FT
REAR YARD:	30 FT
MAX. BUILDING HEIGHT:	3 STORY OR 35 FT
MAX. % BUILDING COVERAGE:	20%
MAX. % OF LOT COVERAGE:	75%
MIN. % OPEN SPACE:	25%

BUILDING DATA:

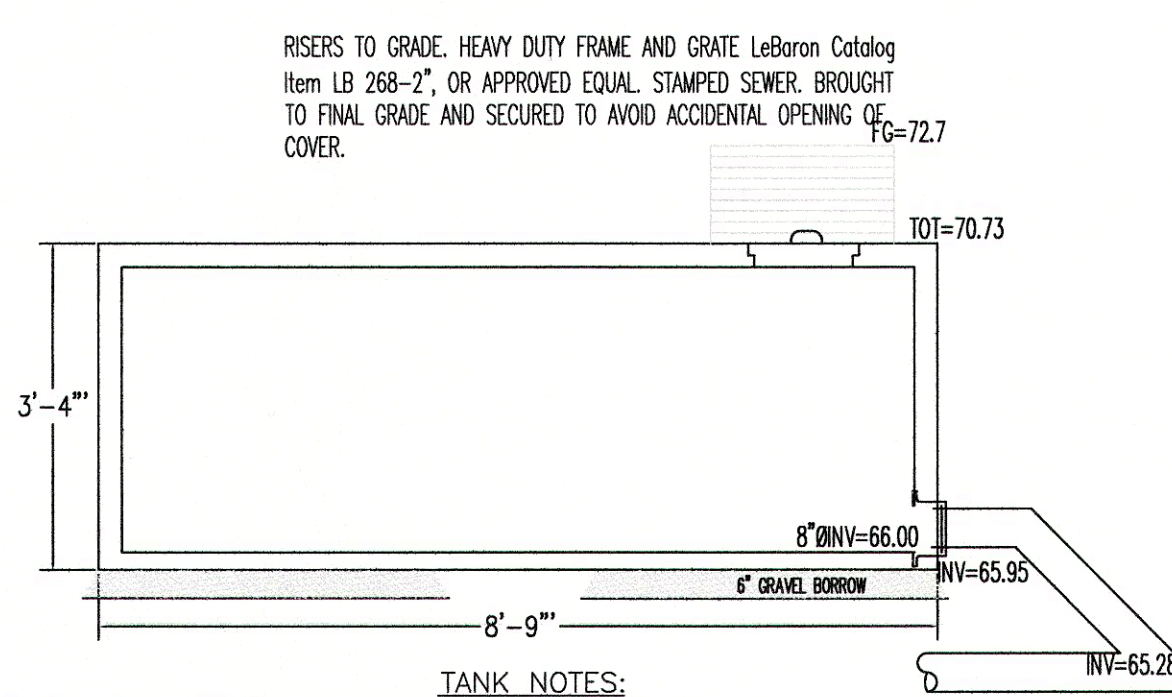
LEASE OFFICE/CLUB HOUSE BUILDING A - 1 STORY; 5,104 GSF
RESIDENTIAL BUILDING 1: 5-3BR; 54-2BR; 29-1BR
(88) TOTAL UNITS; 22,540 SF FOOTPRINT; 112,700 GSF
RESIDENTIAL BUILDING 2: 5-3BR; 66-2BR; 33-1BR
104 TOTAL UNITS; 26,769 SF FOOTPRINT; 133,845 GSF
RESIDENTIAL BUILDING 3: 4-3BR; 47-2BR; 46-1BR
(97) TOTAL UNITS; 23,011 SF FOOTPRINT; 115,055 GSF
TOTAL 289 UNITS; 72,320 SF FOOTPRINT; 366,704 GSF

TOTAL AREA: 1,060,107 SF or 24.34 Acres
BUILDING COVERAGE: 1.6 ACRES (6.6%)
PARKING COVERAGE: 4.9 ACRES (20.1%)
SIDEWALK COVERAGE: 0.6 ACRES (2.5%)
OPEN AREAS: 17.24 ACRES (70.8%)
DRAINAGE: 1.0 ACRES (4.2%)
UPLANDS: 7.1 ACRES (29.1%)
WETLANDS: 9.13 ACRES (37.5%)

PARKING SPACES REQUIRED: 2 PER UNIT
PARKING SPACES PROVIDED: 1.8 PER UNIT OR
289 UNITS = 523 RESIDENTIAL SPACES PROVIDED
= 4 OFFICE SPACES PROVIDED
(527) TOTAL SPACES 9'x18' TYPICAL SIZE WITH 16 SPACES HANDICAP ACCESSIBLE
WATER REQUIREMENTS: 63,888 GPD MAX
SEWER REQUIREMENTS: 53,240 GPD MAX

SEWER STATION DESIGN

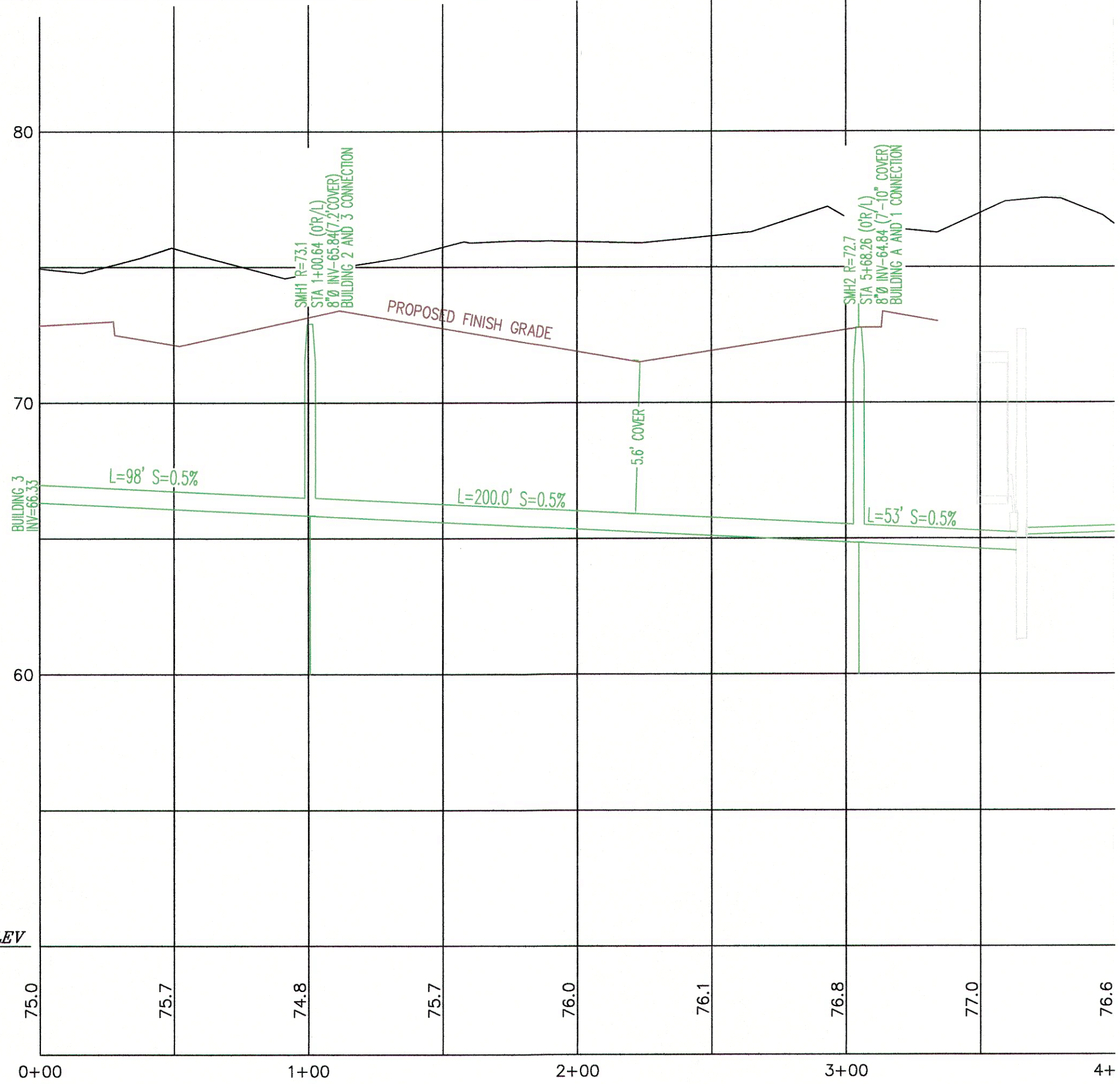
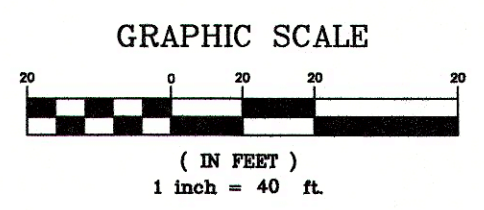
- 2 45HVB50N4 BARNES PUMPS, 5 HP 230V 3 PHASE; 150 GPM @35' TDH
- 2 IMPELLER TRIMS TO MEET CONDITIONS
- 2 BAF 4 X 4 RAIL ASSEMBLIES
- 2 SS LIFT CHAINS
- 80' 2" SS PIPE
- 2 4" FLOMATIC CHECK VALVES
- 2 4" FLOMATIC GATE VALVES
- 4 073612 FLOAT SWITCHES
- 1 FSB-SS4 FLOAT RACK
- 1 NEMA 4XJUNCTION BOX WITH CORD GRIPS
- 1 DUPLEX CONTROL PANEL, NEMA 3R ENCLOSURE, SEPARATE ALARM CIRCUIT, LIGHT & AUDIBLE, HIGH WATER LEVEL VISIBLE AND AUDIBLE ALARM POWERED BY A CIRCUIT SEPARATE FROM THE PUMP POWER. LOCATE IN A NORMALLY OCCUPIED AREA OF BUILDING.
- HIGH AND LOW WATER ALARMS, ELAPSED TIME METERS, MOISTURE & TEMP SENSORS, DRY CONTACT RELAYS, UL LISTING
- PROVIDED A COMBUSTIBLE GAS DETECTOR TO MONITOR THE ATMOSPHERIC CONDITIONS IN THE WETWELL IN ACCORDANCE WITH NFPA 820?
- ELECTRICAL TRANSFORMER
- BACKUP GENERATOR TO BE DIESEL OR GAS POWERED.
- CRANE SERIES 44000 ON-OFF ROTARY ELECTRIC ACTUATORS AT EACH DOMESTIC WATER SERVICE LINE INTO BUILDINGS WITH FLOWSEAL BUTTERFLY VALVES.
- UPON POWER LOSS TO PUMP STATION ACTUATOR TO TURN OFF DOMESTIC WATER SERVICE TO ALL BUILDINGS UNLESS POWERED BY BACKUP GENERATOR.
- 1,500 GALLON EMERGENCY HOLDING TANK PROVIDED. UPON LOSS OF POWER, TANK AND SEWER LINES WILL HOLD SEWAGE UNTIL POWER CAN BE RESTORED. DOMESTIC WATER SERVICE TO RETURN TO "ON" WHEN POWER IS RESTORED. TANK WILL ALSO PROVIDE ADDITIONAL STORAGE CAPACITY IF DISCHARGE TO LAKESHORE PUMP STATION IS NOT POSSIBLE.
- PROVIDE A COMBUSTIBLE GAS DETECTOR IN WETWELL IN ACCORDANCE WITH NFPA820.



TANK NOTES:

- 1. CONCRETE, 4,000 P.S.I. MINIMUM STRENGTH @ 28 DAYS; DENSITY 150 PCF
- 2. CEMENT, PORTLAND TYPE I OR II, ASTM C150-81
- 3. ADMIXTURES, AIR AND PLASTICIZERS @ ASTM C233-82
- 4. REINFORCING ASTM A615 FOR WIRE FABRIC, GRADE 60 BAR
- 5. DESIGN LOADING H-10.
- 6. CONSTRUCTION JOINTS SEALED WITH BUTYL RUBBER.

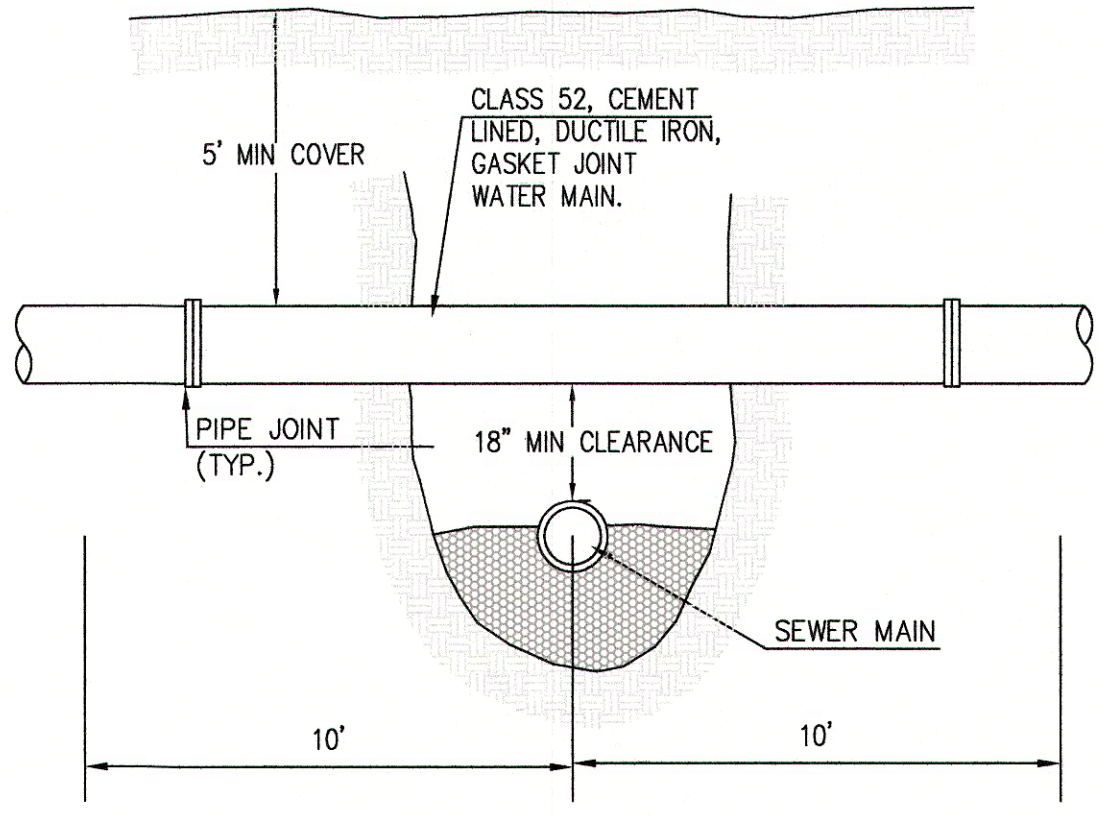
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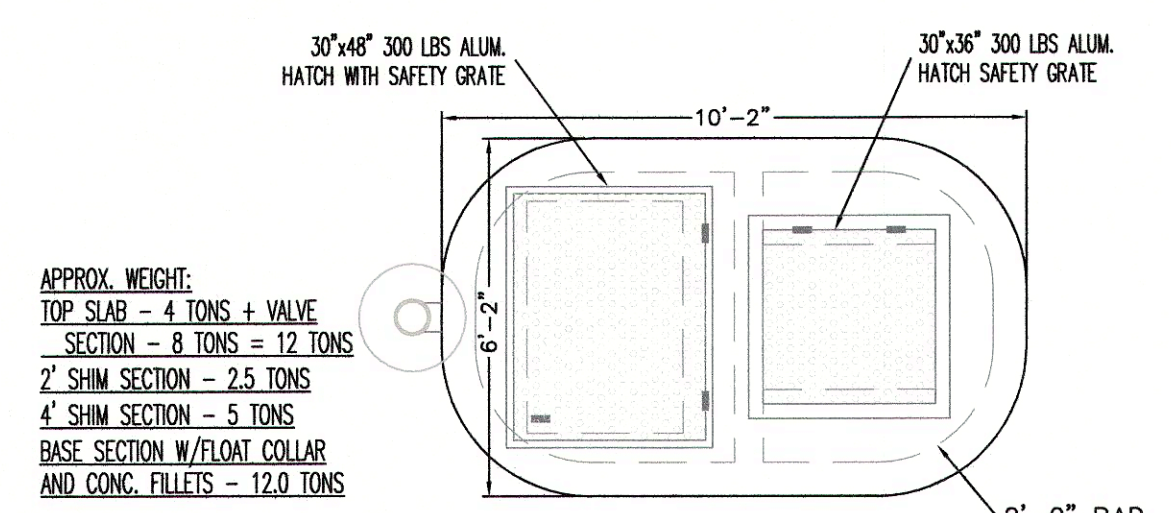
SEWER PROFILE
SCALE: 1" = 40' HORIZONTAL 1" = 4' VERTICAL

LAWRENCE P. SILVA, P.E. REG No. 33381-C
DATE 3/14/2014

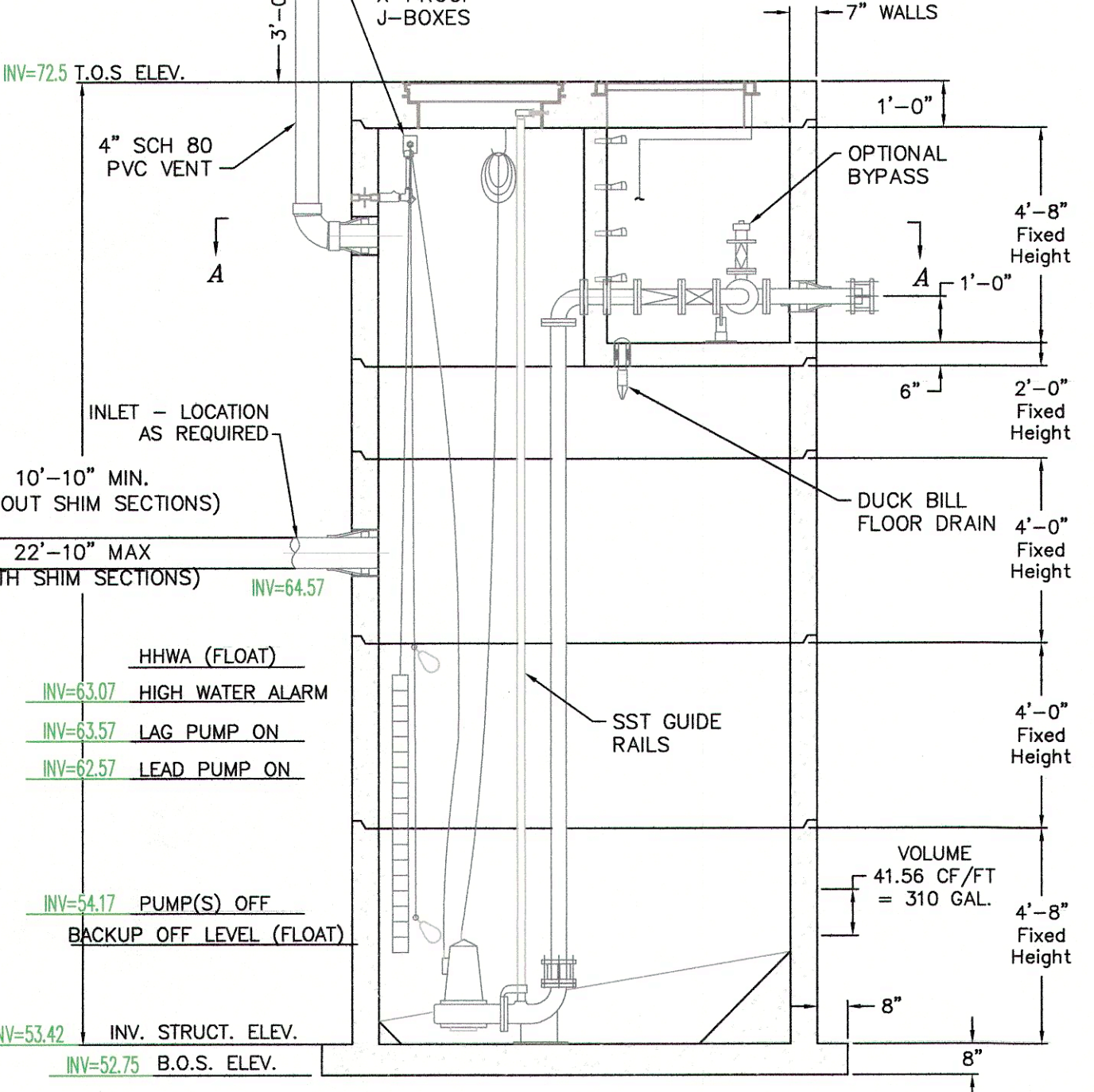
THE SEWER LINE IS TO BE LAID 18" BELOW ANY WATER MAINS, PIPES & SERVICES. IF SEPARATION MUST BE LESS THAN 18" BELOW, SEWER LINE TO BE THE SEWER MAIN OR SERVICE MUST BE ENCASED 10" ON BOTH SIDES OF CROSSING WITH 6" OF 3000 PSI CONCRETE. IF THE SEWER MAIN OR SERVICE CROSSES ABOVE THE WATER MAIN OR SERVICE, TOTAL ENCASEMENT ON BOTH SIDES OF CROSSING IS REQUIRED, REGARDLESS OF SEPARATION.



TYPICAL WATER/SEWER CROSSING
NOT TO SCALE



INTERIOR ELEVATION VIEW
RC509 x 10'-10" to 22'-10"
OR EQUAL



REVISIONS		
DATE	BY	DESCRIPTION
9/17/12	RAB	ADDRESS COMMENTS
9/27/12	RAB	ADDRESS COMMENTS
10/23/12	RAB	ADDRESS COMMENTS
2/28/13	RAB	REDUCE BUILDING AND PAVEMENT IMPACT
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5/30/13	RAB	ADDITIONAL DETAIL SHEET 14
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11/26/13	RAB	PRICING/BID SET
3/14/14	RAB	PERMIT SET

**'THE RESIDENCES AT LAKESHORE'
SEWER LAYOUT &
PROFILE PLAN
'PERMIT SET 3-14-2014'**

SITE:
ASSESSOR'S MAP 95, LOT 1 & MAP 96, LOT 13
OFF PLEASANT STREET (ROUTE 104)
BRIDGEWATER, MASSACHUSETTS

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SCALE	DRAWN	DATE	ACAD FILE	SHEET
1"=40'	SRM/RAB	3/5/12	97032ER-40P-SP12	13

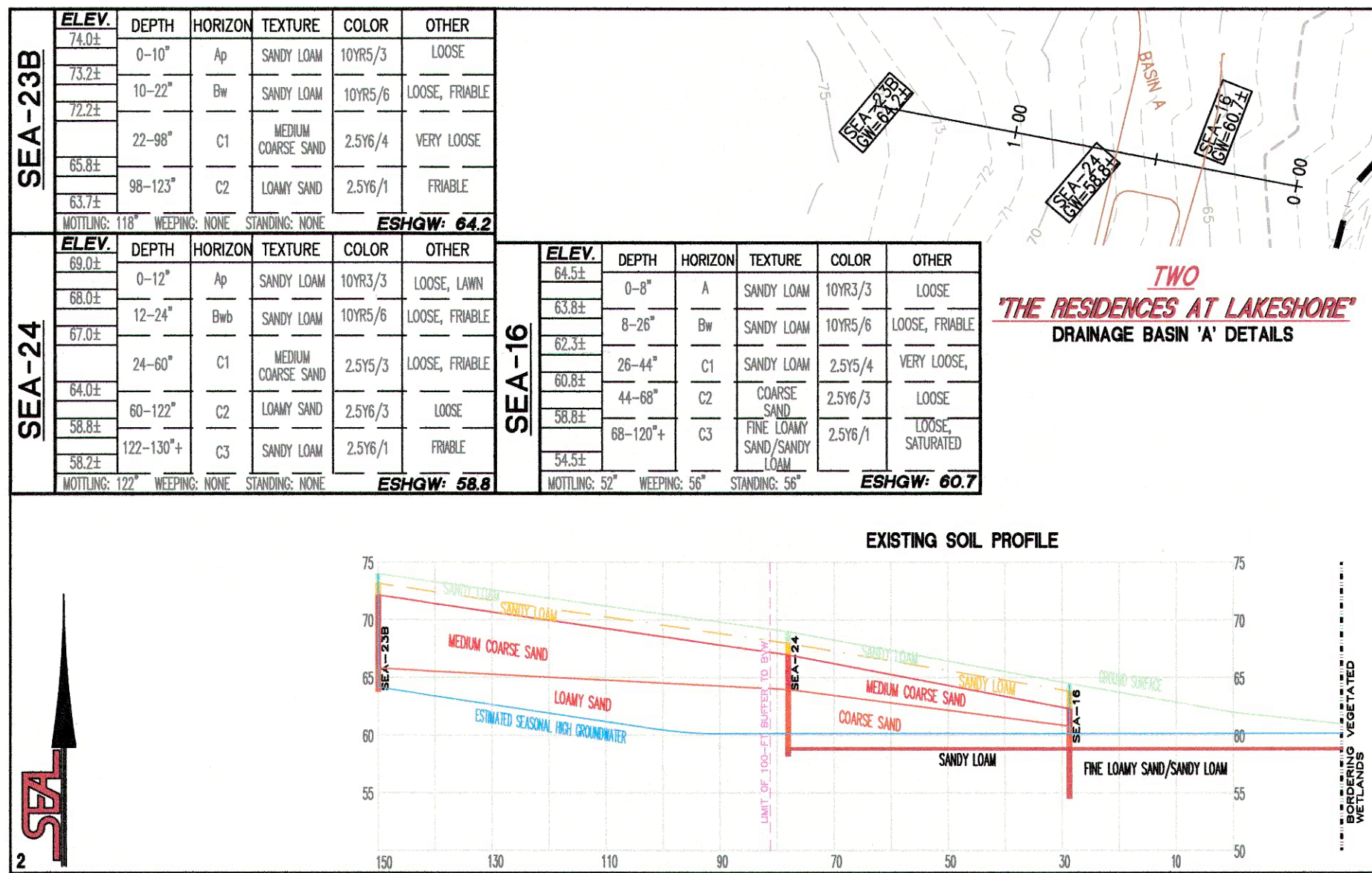
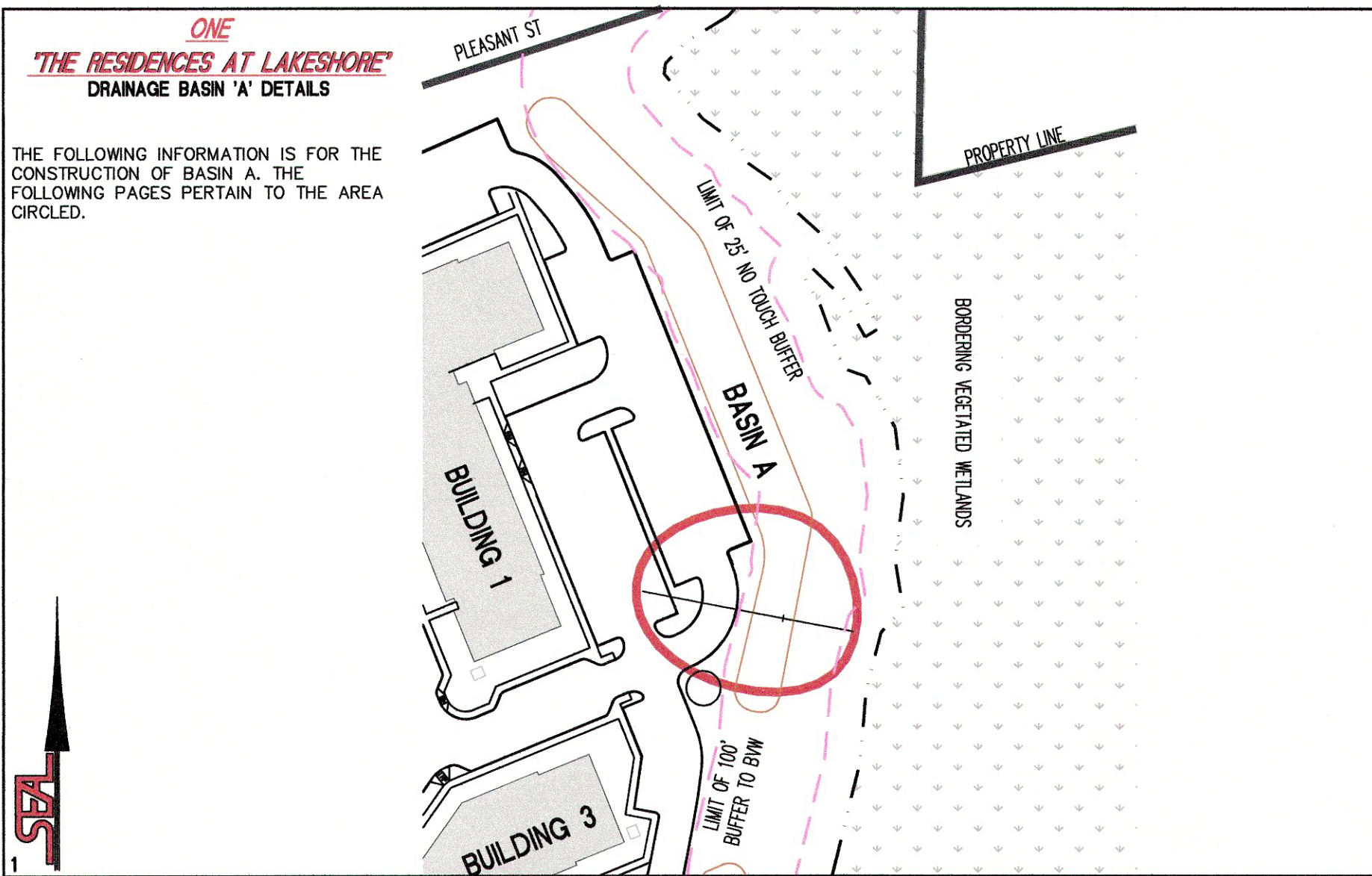
BASIN CONSTRUCTION:

THE PROPOSED DETENTION BASINS ARE TO BE CONSTRUCTED WITH 3:1 SLOPES, IN A MANNER THAT ENSURES BOTH STABILITY AND FUNCTION. SEPARATION TO GROUNDWATER HAS BEEN MAXIMIZED BY ESTABLISHING THE BOTTOM OF BASIN FOUR FEET ABOVE THE ESTIMATED HIGH GROUNDWATER ELEVATION. AS A RESULT, THE BASIN BERM MUST BE CONSTRUCTED IN A MANNER THAT ENSURES A STABLE EMBANKMENT WHICH WILL PROVIDE EFFECTIVE STORAGE WITHOUT RISK TO THE NEIGHBORING WETLANDS OR DOWNGRADIENT PROPERTIES.

TO ACCOMPLISH THAT OBJECTIVE, THE BASIN MUST BE CONSTRUCTED BY FIRST INSTALLING A SILTFENCE AND HAYBALE BARRIER NO CLOSER THAN 25 FEET TO THE EDGE OF THE WETLANDS. ONCE COMPLETED AND INSPECTED BY THE COMMISSION, THE TOP AND SUBSOIL LAYERS WILL BE REMOVED AND THE MATERIAL WILL BE STOCKPILED UPGRADIENT OF THE BASIN AND OUTSIDE THE 100-FOOT BUFFER TO THE WETLANDS.

MATERIAL FOR THE BASIN BERM WILL THEN BE PLACED IN SIX TO TWELVE INCH LIFTS, COMPACTED, AND STABILIZED UNTIL THE HEIGHT OF THE BASIN IS NEARLY ACHIEVED. THE LAST 6-INCHES OF THE TOP AND OUTSIDE SURFACE WILL BE TOPPED WITH TOPSOIL SUITABLE FOR GROWING GRASS. THE INSIDE FACE OF THE BASIN WILL BE LINED WITH A HYDRAULIC BARRIER THAT WILL EXTEND DOWN BELOW THE BASIN FLOOR TO THE DEPTH OF ESTIMATED SEASONAL HIGH GROUNDWATER. THE EXCAVATED TRENCH IN THE BASIN BOTTOM WILL BE BACKFILLED WITH SANDY LOAM OR DRY SILT CLAY LOAM TO ENHANCE THE BARRIER EFFECTIVENESS. THE EXPOSED PORTION OF THE BARRIER WILL BE COVERED WITH A 12 INCH LAYER OF RIPRAP (8-12 INCH STONES) THAT WILL HOLD THE LINER IN PLACE AND STABILIZE THE INSIDE BASIN SURFACE. THE BARRIER WILL ALSO PREVENT LATERAL FLOW "BREAKOUT" OF STORED WATER. ALONG THE TOP OF THE BERM AND DOWNGRADIENT FACE, TOPSOIL WILL BE HELD IN PLACE VIA AN ANCHORED JUTE MAT OR SIMILAR STABILIZATION METHOD, AND THE SURFACE WILL BE HYDROSEED TO PROMOTE GRASS GERMINATION AND GROWTH. THE COMPLETED BASIN STRUCTURE WILL BE WATERED DAILY UNTIL THE SLOPES ARE STABILIZED.

THE BASIN BOTTOM WILL BE CONSTRUCTED BY REMOVING LESS PERMEABLE LAYERS OF SOIL TO THE UNDERLYING MEDIUM COARSE SAND AND CLEAN PERCOLATION SAND WILL BE PLACED TO CONNECT THE NATURAL SAND TO THE BASIN BOTTOM. THE BASIN FLOOR WILL BE CONSTRUCTED USING A LOAMY SAND CAPABLE OF SUSTAINING THE CONSERVATION GRASS MIX BUT ALLOWING WATER TO INFILTRATE. PERIODICALLY ALONG THE BASIN BOTTOM, STONE PILES OR CLUSTERS, DEVOID OF LOAMY SAND OR SEED MIX WILL BE CONSTRUCTED. THE STONES, 6-8" COBBLES WILL BE PLACED TO THE ELEVATION OF THE NATURAL SAND. THE BASIN IS TO BE A "NATURALIZED" TYPE; THEREFORE ACCESS IS NOT NEEDED FOR MOWING. AS NEEDED, HAND TRIMMERS CAN BE USED TO CUT VEGETATION, BUT MAINTENANCE OF THE INLET AND OUTLET STRUCTURES IS ALL THAT IS NEEDED. ILLUSTRATIONS OF THE BASIN (A & B) CONSTRUCTION ARE PROVIDED.



ATTACHMENT A
SPECIAL CONDITIONS
UNDER THE TOWN OF BRIDGEWATER WETLAND BY-LAW

ORDER OF CONDITIONS
APPLICANT: ELIAS PATOUCHEAS
THE CLAREMONT COMPANIES
PROJECT LOCATION: ONE LAKESHORE CENTER, BRIDGEWATER, MA 02324
0 LAKESHORE CENTER, MAP 95 AND 96, PARCEL 1 AND 13, BRIDGEWATER, MA, 02324

DEP # SE116-1266

1. IN ORDER TO ESTABLISH A BENCHMARK FOR ASSESSING THE IMPACT OF THE DEVELOPMENT ON THE ADJOINING BORDERING VEGETATED WETLANDS IN THE HOCKMUCK SWAMP ACEC, GROUNDWATER SAMPLING AND TESTING TO DETERMINE EXISTING BACKGROUND DATA SHALL BE CONDUCTED ON THE GROUNDWATER SAMPLES EXTRACTED FROM THE EXISTING MONITORING WELL AT THE SITE. THE FOLLOWING PARAMETERS SHALL BE TESTED FOR: TOTAL PH, TURBIDITY, TOTAL OXYGEN, BIOLOGICAL OXYGEN DEMAND, TOTAL SUSPENDED SOLIDS, NITRATES AND TOTAL PETROLEUM HYDROCARBONS. IN ADDITION TO THE EXISTING MONITORING WELL, TWO NEW MONITORING WELLS SHALL BE INSTALLED AND GROUNDWATER SAMPLES EXTRACTED FROM THEM SHALL BE TESTED FOR THE PARAMETERS DESCRIBED HEREIN. THE TWO NEW MONITORING WELLS SHALL BE INSTALLED AT REPRESENTATIVE LOCATIONS THAT WOULD FACILITATE DETERMINATION AND CHARACTERIZATION OF GROUNDWATER FLOW DIRECTIONS. STATIC WATER LEVEL IN EACH WELL MUST BE DOCUMENTED AND CONVERTED TO ELEVATION FIGURE REFERENCED TO THE ELEVATION DATUM ON THE PROJECT SITE PLAN. THE GROUNDWATER LEVELS SHALL BE DOCUMENTED DURING EACH SAMPLING AND TESTING CYCLE PRIOR TO WATER SAMPLES BEING EXTRACTED FROM THE WELLS.

THE BACKGROUND DATA FOR THE PARAMETERS SHALL BE DOCUMENTED AND SUBMITTED TO THE CONSERVATION COMMISSION FOR ITS REVIEW AND APPROVAL PRIOR TO ANY SITE WORK BEING INITIATED. ONCE BACKGROUND DATA HAS BEEN DEVELOPED FOR THE PARAMETERS DESCRIBED HEREIN BEFORE, SAMPLING AND TESTING OF GROUNDWATER SAMPLES RETRIEVED FROM THE THREE WELLS SHALL BE CONTINUED ON A SEMI-ANNUAL BASIS FOR A PERIOD OF THREE YEARS FOLLOWING COMPLETION OF THE SITE WORK.

2. METHOD OF SLOPE STABILIZATION FOR THE DRAINAGE BASINS AND SPECIFICATIONS FOR SAME SHALL BE INCLUDED ON THE FINAL SITE PLANS. SUBMITTED TO THE BRIDGEWATER CONSERVATION COMMISSION. THE STABILIZATION METHOD SHALL ADDRESS BOTH SURFACE STABILIZATION AND STRUCTURAL STABILIZATION OF THE BANKS.

3. ALL OF THE PLAN SHEETS SHALL BE REVISED TO BEAR THE SAME LATEST DATE FOR EASE OF REFERENCE.

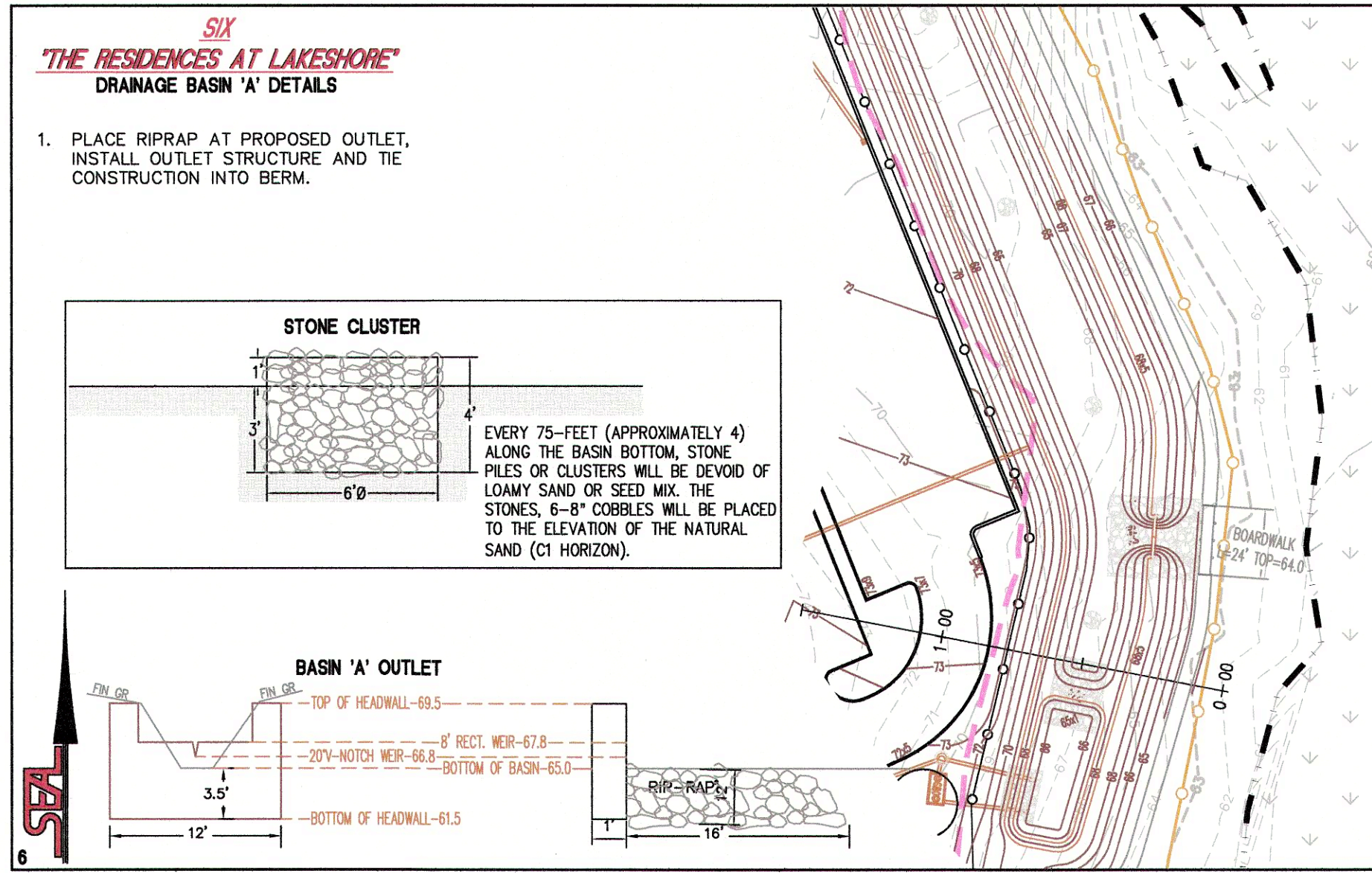
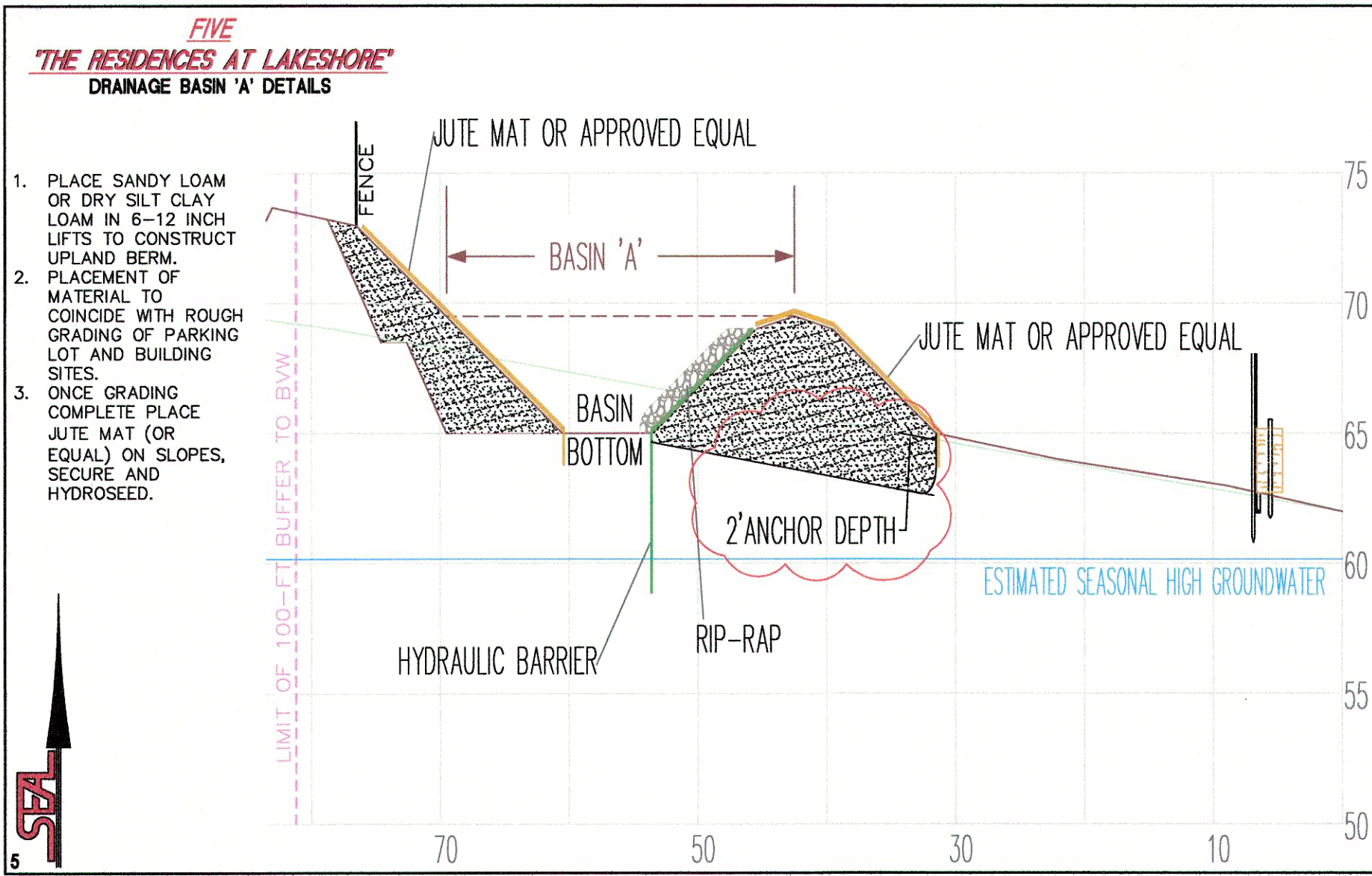
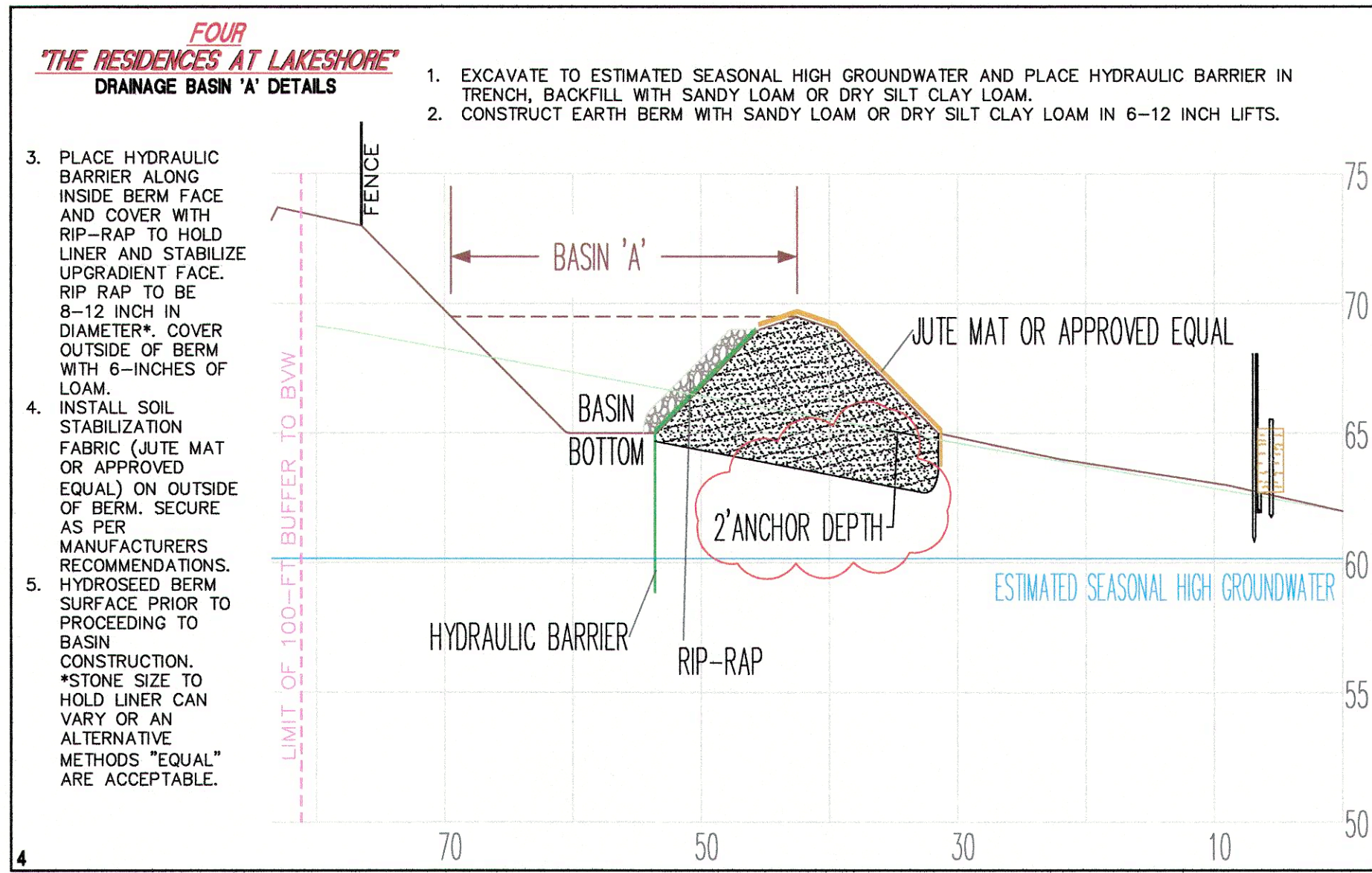
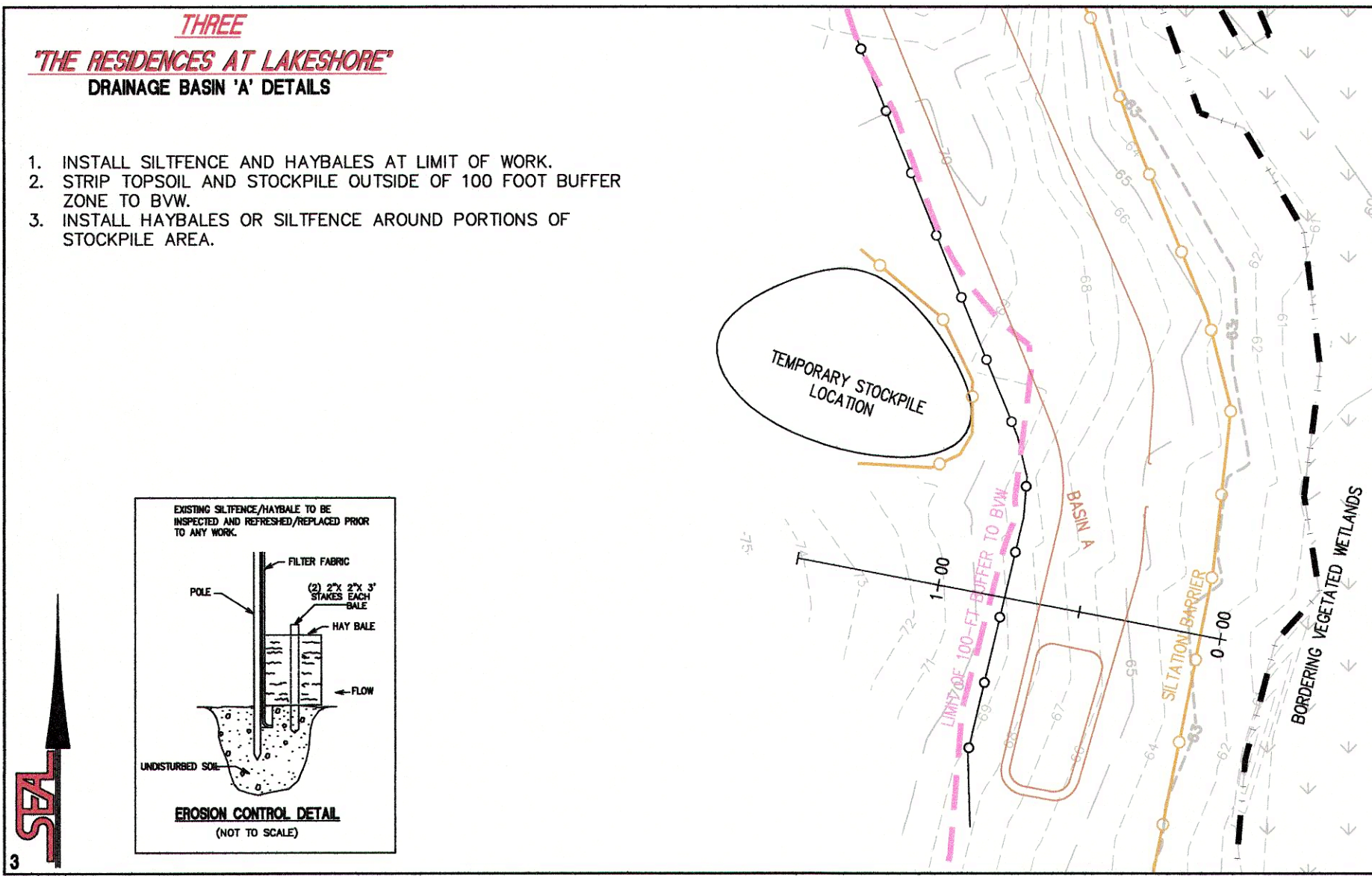
4. A NOTE IN BOLD PRINT FONT SHALL BE CLEARLY MARKED ON ALL PLAN SHEETS INDICATING THAT THE PROJECT IS SUBJECT TO AN ORDER OF CONDITIONS ISSUED BY THE BRIDGEWATER CONSERVATION COMMISSION. BOTH THE CONTRACTOR AND THE APPLICANT SHALL SIGN A STATEMENT VERIFYING THAT THEY BOTH HAVE READ AND DO UNDERSTAND THE ORDER OF CONDITIONS GOVERNING THE PROJECT BEFORE WORK MAY COMMENCE.

5. WHILE THE BRIDGEWATER CONSERVATION COMMISSION IS OF THE OPINION THAT THE FLOODPLAIN AS SHOWN ON THE CURRENT FEMA FLOOD INSURANCE RATE MAP FOR THE LOCUS MAY BE IN ERROR, THE APPLICANT MUST EITHER PROVIDE COMPENSATORY STORAGE FOR FLOODPLAIN FILLING OR PROVIDE THE BRIDGEWATER CONSERVATION COMMISSION COPIES OF LETTER OF MAP AMENDMENT ISSUED BY FEMA INDICATING THAT THE FLOOD INSURANCE RATE MAP FOR THE LOCUS HAS BEEN REVISED TO REMOVE THE LOCUS FROM THE FLOODPLAIN. NO SITE WORK MAY COMMENCE WITHOUT THIS REQUIREMENT HAVING BEEN MET.

6. ANY PROJECT PLAN OR SCOPE REVISIONS THAT ARE ENGENDERED BY THE MEPA REVIEW PROCESS SHALL BE SUBMITTED TO THE BRIDGEWATER CONSERVATION COMMISSION FOR ITS REVIEW AND APPROVAL PRIOR TO ANY ACTUALIZATION OF THE SCOPE REVISION.

7. UPON COMPLETION OF THE WORK APPROVED HEREUNDER BY THE BRIDGEWATER CONSERVATION COMMISSION, THE APPLICANT SHALL SUBMIT A WRITTEN REQUEST FOR A CERTIFICATE OF COMPLIANCE (COC). THE COC REQUEST SHALL BE FILED ALONG WITH A WRITTEN STATEMENT PREPARED BY A MASSACHUSETTS LICENSED PROFESSIONAL CIVIL ENGINEER. THE STATEMENT SHALL INCLUDE A CERTIFICATION CLAUSE SIGNED AND STAMPED BY THE ENGINEER NOTING COMPLIANCE WITH THE APPROVED PLAN AND THE COC AND ANY DEVIATIONS FROM THE APPROVED PLAN.

LAWRENCE P. SILVA
P.E. REG. NO. 33381-C
DATE 3/14/2014



REVISIONS		
DATE	BY	DESCRIPTION
9/17/12	RAB	ADDRESS COMMENTS
9/27/12	RAB	ADDRESS COMMENTS
10/23/12	RAB	ADDRESS COMMENTS
2/28/13	RAB	REDUCE BUILDING AND PAVEMENT IMPACT
3/15/13	RAB	ADDRESS REVIEW COMMENTS
4/15/13	RAB	ADDITIONAL WAIVER REQUEST
5/30/13	RAB	ADDITIONAL DETAIL SHEET 14
10/30/13	RAB	ADDRESS DEP GRADING; FEMA FLOOD PLAN
11/26/13	RAB	PRICING/BID SET
3/14/14	RAB	PERMIT SET

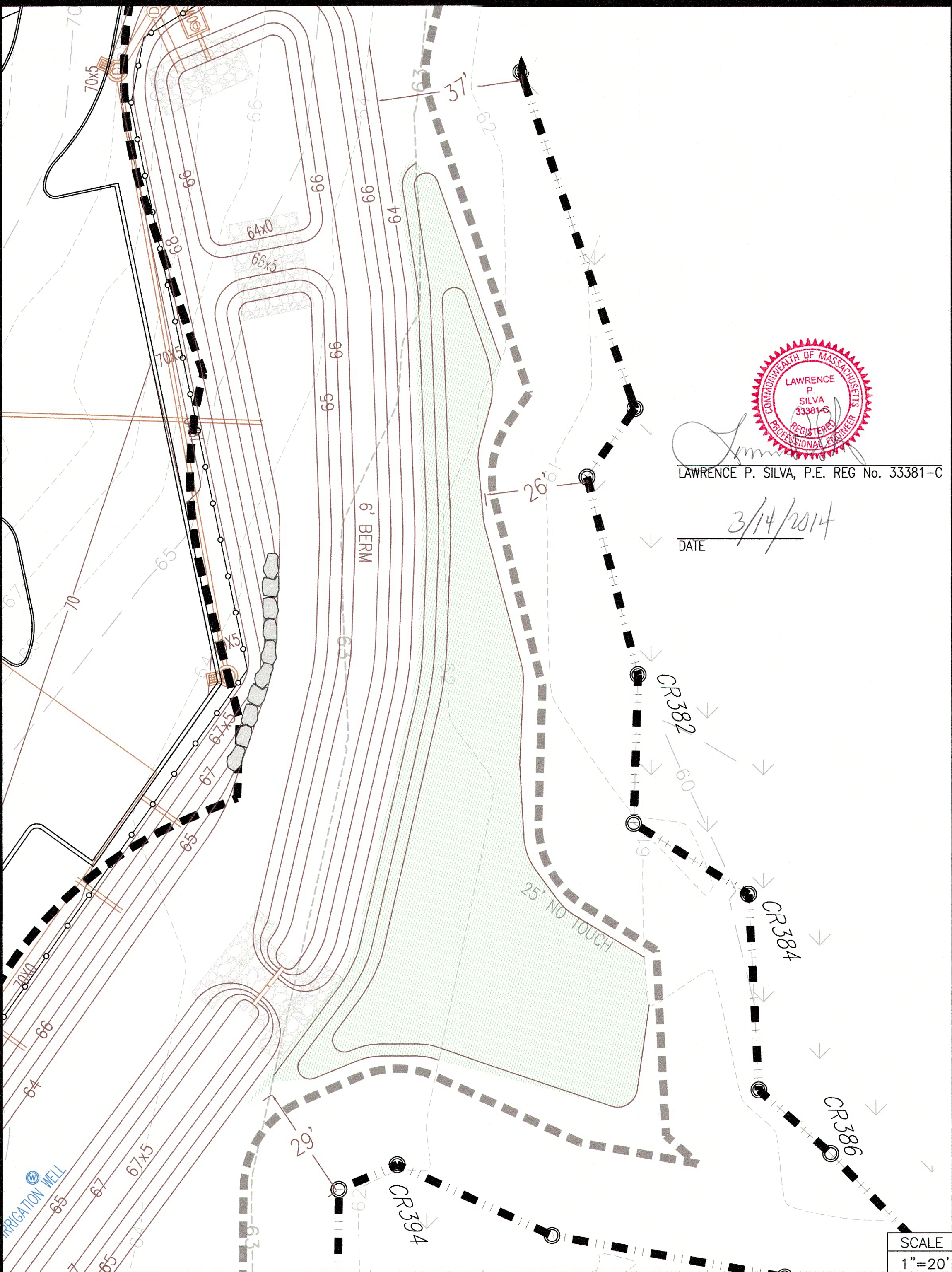
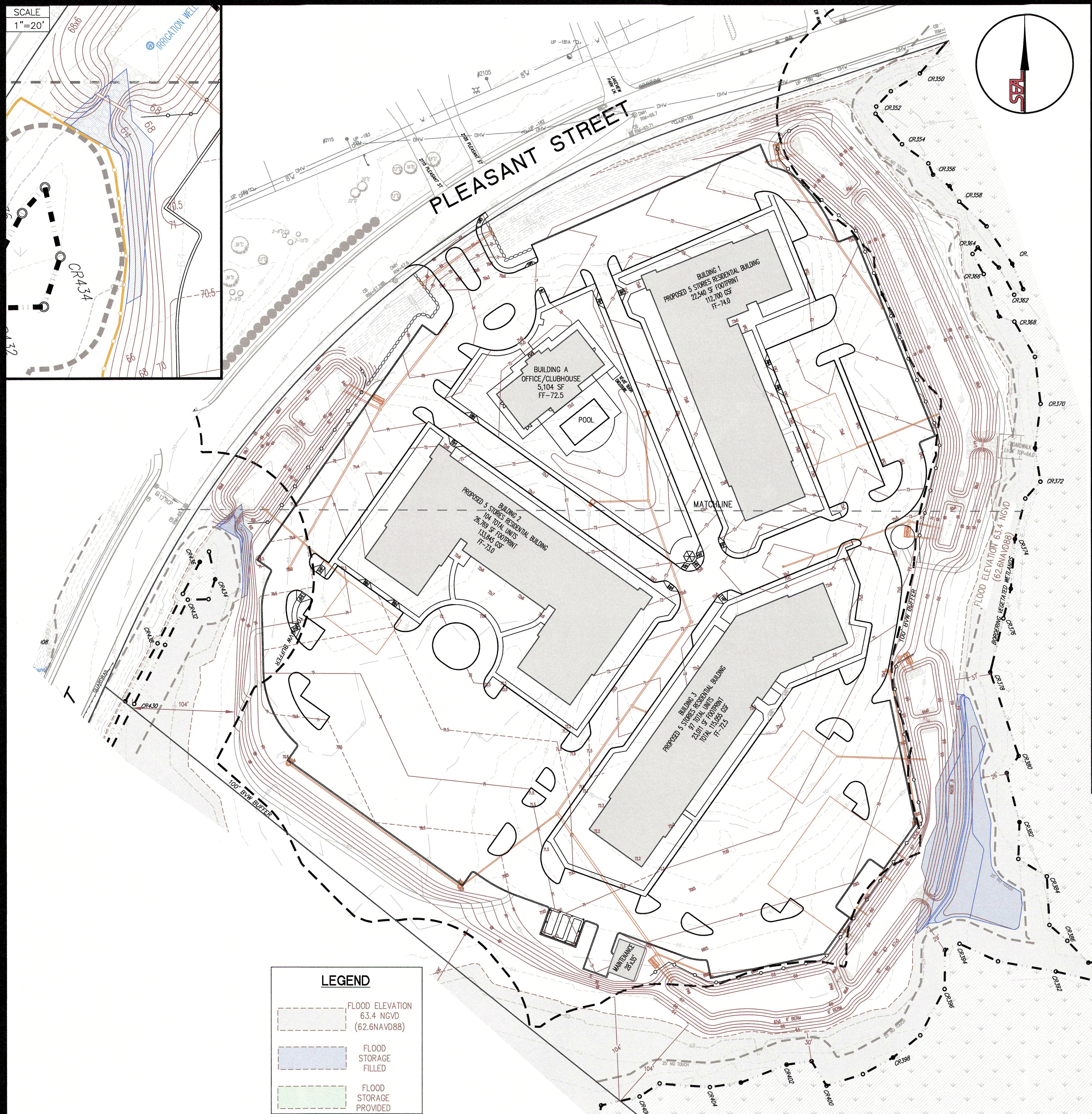
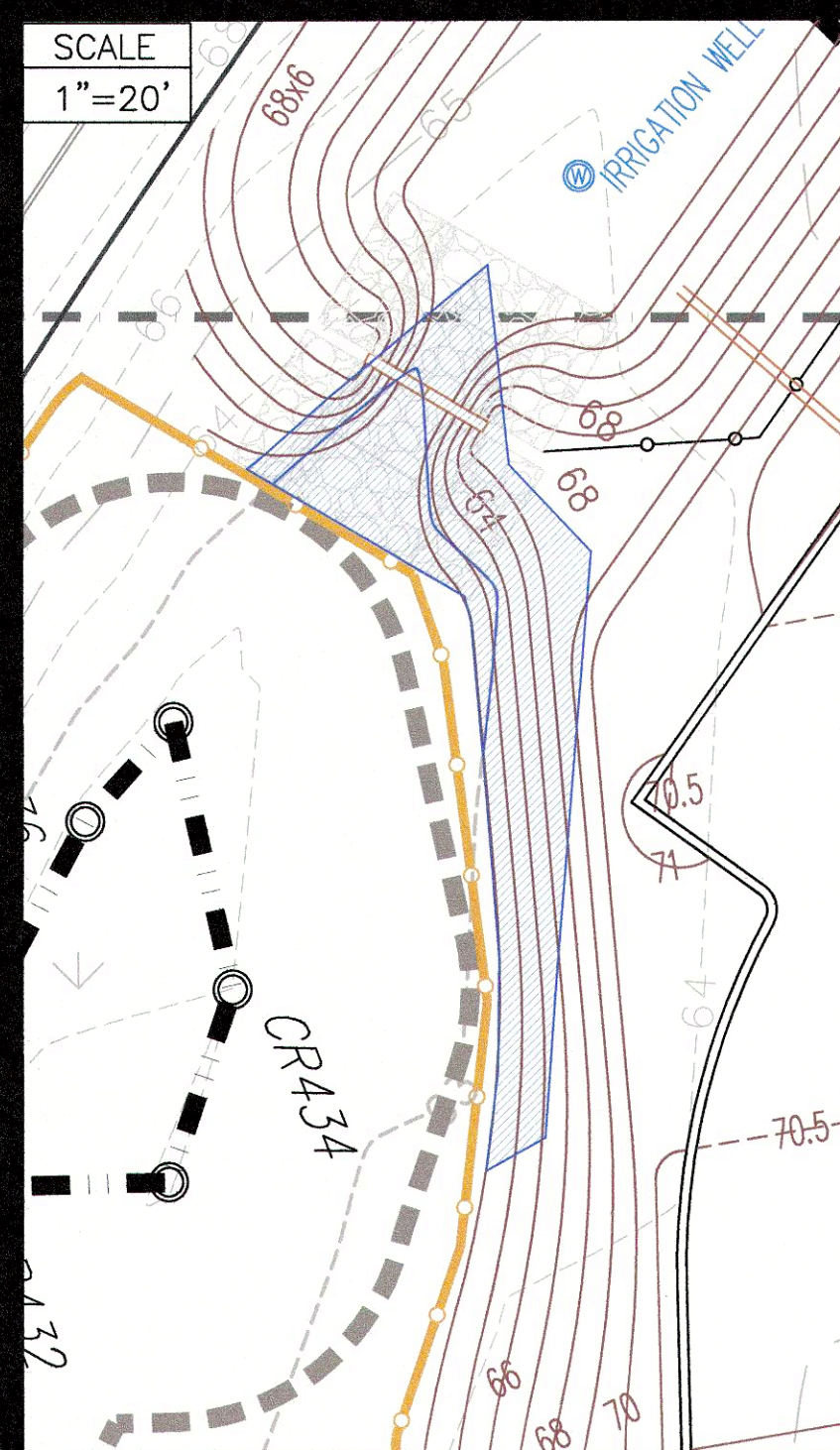
'THE RESIDENCES AT LAKESHORE'
BERM CONSTRUCTION
DETAILS
'PERMIT SET 3-14-2014'

SITE:
ASSESSOR'S MAP 95, LOT 1 & MAP 96, LOT 13
OFF PLEASANT STREET (ROUTE 104)
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
CLAREMONT BRIDGEWATER II, LLC

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SCALE	DRAWN	DATE	ACAD FILE	SHEET
NOTED	SRM/RAB	3/5/12	97032ER-408-SP12	14



LAWRENCE P. SILVA, P.E. REG No. 33381-C

DATE 3/14/2014

ELEVATION	FLOOD STORAGE VOLUME EXISTING		
	SURFACE AREA (SF)	INCREMENTAL AREA (SF)	INCREMENTAL VOLUME(CF)
61.0	0	0	0
62.0	3,522	1,761	1,761
63.0	9,917	6,720	8,481
63.4	13,497	4,683	13,163
TOTAL = 23,405 CF			
ELEVATION	FLOOD STORAGE VOLUME PROPOSED		
	SURFACE AREA (SF)	INCREMENTAL AREA (SF)	INCREMENTAL VOLUME(CF)
61.0	5,350	0	0
62.0	6,403	5,877	5,877
63.0	7,190	6,797	12,671
63.4	7,485	2,935	15,608
TOTAL = 34,158 CF			

REVISIONS		
DATE	BY	DESCRIPTION
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9/27/12	RAB	ADDRESS COMMENTS
10/23/12	RAB	ADDRESS COMMENTS
2/28/13	RAB	REDUCE BUILDING AND PAVEMENT IMPACT
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4/15/13	RAB	ADDITIONAL WAIVER REQUEST
5/30/13	RAB	ADDITIONAL DETAIL SHEET 14
10/30/13	RAB	ADDRESS DEP GRADING; FEMA FLOOD PLAIN
11/26/13	RAB	PRICING/BID SET
3/14/14	RAB	PERMIT SET

'THE RESIDENCES AT LAKESHORE'
COMPENSATORY STORAGE PLAN

'PERMIT SET 3-14-2014'

SITE:
ASSESSOR'S MAP 95, LOT 1 & MAP 96, LOT 13
OFF PLEASANT STREET (ROUTE 104)
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
CLAREMONT BRIDGEWATER II, LLC

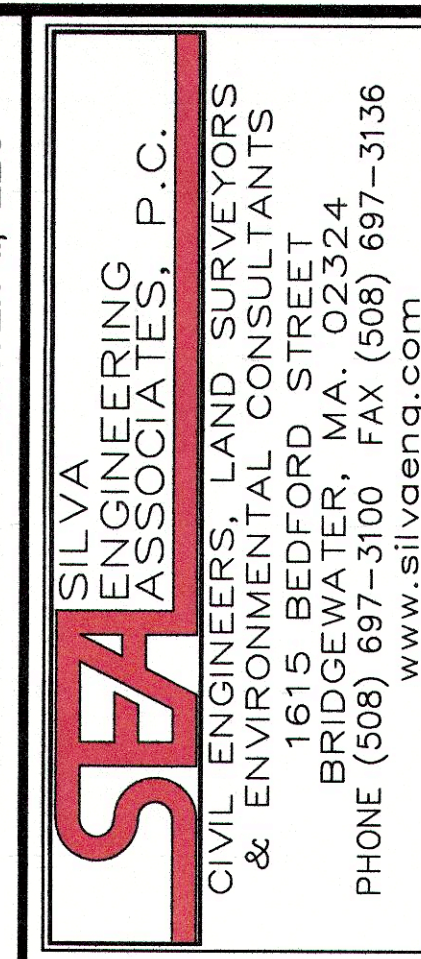
SEA SILVA
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SCALE	DRAWN	DATE	ACAD FILE	SHEET
1"=50'	SRM/RAB	3/5/12	970323R-408-SP12	15

**"THE RESIDENCES AT LAKESHORE"
PHASE 1 PLAN**

SITE:
ASSESSOR'S MAP 95, LOT 1 & MAP 96, LOT 13
OFF PLEASANT STREET (ROUTE 104)
BRIDGEWATER, MASSACHUSETTS

PREPARED FOR:
CLAREMONT BRIDGEWATER II, LLC



SCALE	DRAWN	DATE	ACAD FILE	SHEET
1"=50'	SRM/RAB	8/31/13	S9'2-1A/phasing	1

REVISIONS		
DATE	BY	DESCRIPTION
3/26/14	RUB	REUSE PHASING OF UTILITIES



LAWRENCE P. SILVA, P.E. REG No. 33381-C

DATE _____

